

***Towne Park  
Community Development District***

***Agenda***

***January 7, 2025***

# AGENDA

# *Towne Park*

## *Community Development District*

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219 East Livingston Street, Orlando, Florida 32801

Phone: 407-841-5524 – Fax: 407-839-1526

December 30, 2024

### **Board of Supervisors Towne Park Community Development District**

Dear Board Members:

The regular meeting of the Board of Supervisors of **Towne Park Community Development District** will be held **Tuesday, January 7, 2025, at 4:00 PM** at the **Towne Park Amenity Center #1, 3883 White Ibis Road, Lakeland, FL 33811.**

*In accordance with Sections 119.071(3)(a) and 281.301, Florida Statutes, a portion of the Regular Meeting may be closed to the public, as it relates to the District's security system plan. The closed session is scheduled to begin at approximately 4:30 p.m. but may begin at any time during the Regular Meeting and is expected to last approximately thirty (30) minutes, but may end earlier than expected or may extend longer. When the security system plan agenda item is discussed the public will not be in attendance. The public will be notified that they may return upon completion of the discussion regarding the security system plan.*

Those members of the public wishing to attend the meeting can do so using the information below:

**Zoom Video Link:** <https://us06web.zoom.us/j/82093856101>

**Zoom Call-In Information:** 1 305 224 1968

**Meeting ID:** 820 9385 6101

Following is the advance agenda for the meeting:

1. Roll Call
2. Public Comment Period
3. Approval of Minutes of the December 3, 2024 Board of Supervisors Meeting
4. Consideration of Request to Install Docks on Stormwater Parcel
  - A. 5239 White Egret Lane
  - B. 5251 White Egret Lane
5. Consideration of 2025 Community Events
6. Appointment of Audit Committee
7. Staff Reports
  - A. Attorney
  - B. Engineer
  - C. Field Manager's Report
  - D. District Manager's Report
    - i. Approval of Check Register
    - ii. Balance Sheet & Income Statement
8. Supervisors Requests
9. *Motion to Continue Board of Supervisors Meeting After Audit Committee Meeting*

### **Audit Committee Meeting**

1. Roll Call
2. Public Comment Period
3. Audit Services
  - A. Approval of Request for Proposals and Selection Criteria
  - B. Approval of Notice of Request for Proposals for Audit Services
  - C. Public Announcement of Opportunity to Provide Audit Services
4. Adjournment

### ***Closed Security Session***

### **Board of Supervisors Meeting Continued**

1. Call to Order
2. Action By Board Related to Closed Security Session
3. Adjournment



# MINUTES

**MINUTES OF MEETING  
TOWNE PARK  
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the Towne Park Community Development District was held Tuesday, **December 3, 2024**, at 6:00 p.m. at the Towne Park Amenity Center #1, 3883 White Ibis Road, Lakeland, Florida and by Zoom.

Present and constituting a quorum:

Greg Jones <i>by phone</i>	Chairman
Jennifer Tidwell	Vice Chairperson
Tom Zimmerman	Assistant Secretary
Roger Runyon	Assistant Secretary
Zabrina Sides	Assistant Secretary

Also present were:

Tricia Adams	District Manager, GMS
Meredith Hammock <i>by Zoom</i>	District Counsel, Kilinski Van Wyk
Alan Rayl <i>by Zoom</i>	District Engineer, Rayl Engineering
Allen Bailey	Field Service Manager, GMS

**FIRST ORDER OF BUSINESS**

**Roll Call**

Ms. Adams called the meeting to order at 6:01 p.m. and called the roll. Four Board members were in attendance in person, constituting a quorum. Supervisor Jones joined the meeting by Zoom.

**SECOND ORDER OF BUSINESS**

**Public Comment Period**

Ms. Adams opened the public comment period.

- Lynn Thompson (3925 Sandhill Crane) – commented on Black Sheep towing company having negative reviews and towing issues.

**Supervisor Jones joined the meeting in person.**

**THIRD ORDER OF BUSINESS**

**Organizational Matters**

**A. Appointment of Individual to Fulfill Vacancy of Seat 5**

Ms. Adams stated Supervisor Tidwell previously expressed her willingness to serve another term.

On MOTION by Ms. Sides, seconded by Mr. Zimmerman, with all in favor, the Appointment of Jennifer Tidwell to Seat 5, was approved.

**B. Administration of Oath of Office to Newly Appointed Supervisor**

Ms. Adams administered the oath of Office to Jennifer Tidwell. Ms. Hammock reminded the Board members as CDD Supervisors they are government officials in the eyes of the State of Florida and Florida Ethics Laws, Public Records Laws and Sunshine Laws pertain to them. Supervisor Zimmerman and Supervisor Sides started their new terms of office on November 19<sup>th</sup>. Their oaths were administered outside of the public meeting and are fully sworn in.

**C. Consideration of Resolution 2025-02 Electing Officers**

Ms. Adams stated that the officers are currently designated as follows: Greg Jones is Chair, Jennifer Tidwell is Vice Chair and the remaining Board members are Assistant Secretaries. Jill Burns and Tricia Adams serve as Assistant Secretaries; George Flint as Treasurer, Katie Costa and Darrin Mossing as Assistant Treasurers.

On MOTION by Mr. Zimmerman, seconded by Mr. Runyon, with all in favor, Resolution 2025-02 Electing Officers – Same Slate of Officers, was approved.

**FOURTH ORDER OF BUSINESS**

**Approval of Minutes of the November 5, 2024 Board of Supervisors Meeting**

Ms. Adams presented the minutes from the November 5, 2024 Board of Supervisors meeting. These minutes have been reviewed by District Counsel and District Management. The Board had no changes to the minutes.

On MOTION by Mr. Jones, seconded by Mr. Runyon, with all in favor, the Minutes of the November 5, 2024 Board of Supervisors Meeting, were approved.

**FIFTH ORDER OF BUSINESS**

**Staff Reports**

**A. Attorney**

Ms. Hammock had nothing to report but offered to take questions. Ms. Tidwell asked since the last meeting if anything has come about with Black Sheep and the towing issues. Ms. Adams made sure the vendor understands the right of way is owned and maintained by the City of Lakeland. The Board can cancel agreements or direct staff to find alternative service providers. Ms. Adams will look into regulatory towing companies and review the provisions for terminating the towing agreement by the next meeting.

**B. Engineer**

Mr. Rayl noted he is assessing the damage from Hurricane Milton at three identified locations. There aren't any significant structural issues that need to be repaired and is mainly earth work and sod. He will work on contractor bids for the Board by the next meeting.

Mr. Rayl will coordinate with representatives of the City of Lakeland to put concrete near the mailbox kiosk as the material would be installed in the City of Lakeland-owned and maintained right of way.

**C. Field Manager's Report**

Mr. Bailey presented the Field Managers Report on page 15 of the agenda package. Ms. Adams stated the proposals including for Board review and consideration are related to property damage from Hurricane Milton. The District has procured property insurance and has filed a claim with the insurance provider.

**i. Consideration of Proposal for Playground Shade Structures**

Mr. Bailey presented the Pro Playgrounds proposal to replace the shade structures at both amenities for \$9,589.50.

On MOTION by Mr. Jones, seconded by Ms. Sides, with all in favor, the Pro Playground Proposal for Playground Shade Structures, was approved.

**ii. Consideration of Proposal for Fence Repairs**

Mr. Bailey presented a proposal from Danielle Fence for damaged fence repairs due to Hurricane Milton for \$43,948. There will be a 10–12-week lead time.

On MOTION by Mr. Jones, seconded by Mr. Runyon, with all in favor, the Danielle Fence Proposal for Fence Repairs, was approved.

**D. District Manager’s Report**

**i. Approval of the Check Register**

Ms. Adams presented the check register from October 20<sup>th</sup> through November 20<sup>th</sup> totaling \$101,384.82. Immediately following the check register is a detailed run summary. She offered to take any questions, if not, asked for a motion to approve as presented.

On MOTION by Ms. Sides, seconded by Mr. Zimmerman, with all in favor, the Check Register totaling \$101,384.82, was approved.

**ii. Balance Sheet and Income Statement**

Ms. Adams presented the unaudited financials through October 2024, noting that this is the first month of the new fiscal year.

**SIXTH ORDER OF BUSINESS**

**Supervisors Requests & Public Comments**

There being no comments, the next item followed

**SEVENTH ORDER OF BUSINESS**

**Adjournment**

Upon vote by the Board, the meeting was adjourned.

On MOTION by Mr. Jones, seconded by Ms. Sides, with all in favor, the meeting was adjourned at 6:33 p.m..

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Secretary/Assistant Secretary

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Chairman/Vice Chairman

# SECTION IV

# SECTION A



StrawNix Docks and Seawalls, LLC

863-934-6218

Date: 10/21/24  
Proposal submitted to:  
Name: JIMMIE YARBROUGH  
Address: 5239 WHITE EGRET LN 33811  
Phone No:

PARCEL ID #  
23-29-08-139621-005010

JIMMIEYARBROUGH@aol.com

We hereby propose to furnish the materials and perform the labor necessary for the completion of:

- 3' x 5' APPROACH TO A 6' x 10'  
DOCK PLATFORM

↳ COMPOSITE CONSTRUCTION -  
TIMBER TECH HARVEST COLLECTION  
\$7,800

- 3' x 64' VINYL SEAWALL (INCLUDES TWO WING WALLS)  
↳ FRENCH DRAIN / ANCHORS EVERY 8'  
INCLUDES 18 YARDS CLEAN FILL

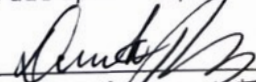
\$16,320  
\$24,120

(\$1500 BUNDLE DISCOUNT / \$500 NEIGHBOR DISCOUNT) - 2,000 DISCOUNT  
TOTAL

All construction techniques will be to current building code/hurricane ratings. All lumber will be Southern Yellow Pine treated to the maximum allowable by D.E.P. (no box store lumber). All hardware will be galvanized or stainless steel. Sod/landscaping is not included in this proposal. All material is to be specified, and the above work to be performed in accordance and specifications submitted for above work and completed in a substantial workmanlike manner

for the sum of TWENTY TWO THOUSAND ONE HUNDRED TWENTY Dollars (\$22,120) with payments to be made as follows:

\$2,000 non-refundable deposit. 50% Materials Deposit one (1) week before commencement: \$10,060 \$3,500/week until completed. Balance due upon completion of work.

Respectfully submitted  DUSTIN KIRBY  
\*this proposal may be withdrawn by us if not accepted within 10 days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Date \_\_\_\_\_ Signature \_\_\_\_\_

**CHANGE ORDERS.** The undersigned customer (the "Customer"), without invalidating the Proposal, may order changes in the work to be performed by Contractor as set forth on the reverse side of this Proposal (the "Work") within the general scope of the Proposal consisting of additions, deletions or other revisions. Adjustments to the sum due under this Proposal on account of any such changes in the Work shall be determined by change order ("Change Order"). Change Orders will be as follows and are based on time and materials

- Materials + cost + 30%, Labor = \$75 per standard man hour)
- Dirt: Each additional load beyond what is estimated will be \$1150/load (Estimates are based on the following calculation: 1.5 x length of the wall times the height of the wall divided by 27 = number of yards needed.) 18 yards = 1 load)
- Scuba Diving: \$250/hour
- Underwater Demolition/Construction: \$250/hr + scuba time
- Dredging: \$450/hour + scuba time
- Tractor: actual cost + 30% and \$75/hour for operation
- Barge: \$1,000/day + \$300 delivery/pick-up fee

**DELAYS.** Contractor shall not be liable for any delays and/or damages arising from or caused by strikes, material and/or labor shortages, weather, or any other conditions beyond Contractor's control.

**WAIVER AND RELEASE.** Customer hereby expressly waives, releases and forever discharges Contractor, and its officers, managers, members, employees, agents, affiliates, parents, successors and assigns of, from and against any and all claims, causes of action, remedies, suits, dues, sums, debts, damages, losses, expenses, costs, judgments, executions, covenants, contracts, controversies, promises, and demands whatsoever, now or hereafter known, arising out of or in any way connected to damage to Customer's property, real or personal, arising from or related to the Work.

**LIMITATION OF LIABILITY.** CONTRACTOR'S LIABILITY FOR DAMAGES OF ANY KIND FOR ANY ACT, OMISSION, ERROR OR NEGLIGENCE BY CONTRACTOR SHALL BE LIMITED TO A MAXIMUM OF THE TOTAL AMOUNT PAID TO CONTRACTOR UNDER THIS CONTRACT. IN NO EVENT SHALL CUSTOMER BE ENTITLED TO RECOVER CONSEQUENTIAL OR SPECIAL DAMAGES ARISING OUT OF A BREACH BY CONTRACTOR PURSUANT TO THIS PROPOSAL.

**PAYMENT TERMS AND CONDITIONS.** Customer understands that payment is due net thirty (30) days from the date of invoice unless stated otherwise on the invoice. Interest on all past due accounts and invoices shall accrue at the rate of 18% per annum until paid in full, and interest upon any judgment shall accrue at the highest rate allowable by Florida law.

**WAIVER OF JURY TRIAL.** THE PARTIES HERETO WAIVE ALL RIGHTS TO A TRIAL BY JURY.

**GOVERNING LAW; VENUE.** This Proposal and the rights of the parties hereunder are governed by, interpreted and enforced in accordance with the laws of the state of Florida. The parties agree that the venue of any action to interpret or enforce this Proposal – together with any subsequent change order, understanding, invoice or statement arising from this Proposal, shall be exclusively in the court of competent jurisdiction in and for Polk County, FL and Customer expressly waives all rights to change venue under Chapter 47, Fla.Stat.

**ATTORNEY'S FEES AND COSTS.** If any party seeks to enforce or interpret this Proposal in matters of enforcement or collection, the prevailing party shall recover all costs incurred from the non-prevailing party, including without limitation, reasonable attorney's fees and expenses incurred at all levels of litigation – including pre-litigation, litigation and post-litigation proceedings, appeals, and bankruptcy proceedings.

**ENTIRE AGREEMENT.** This Proposal, including all exhibits and attachments hereto, embodies the entire Proposal and understanding of the parties hereto and supersedes all prior agreements and understandings related to the subject matter hereof. No waiver, modification or change of any provision in this Proposal shall be valid or binding upon the parties, unless in writing and executed by the parties.

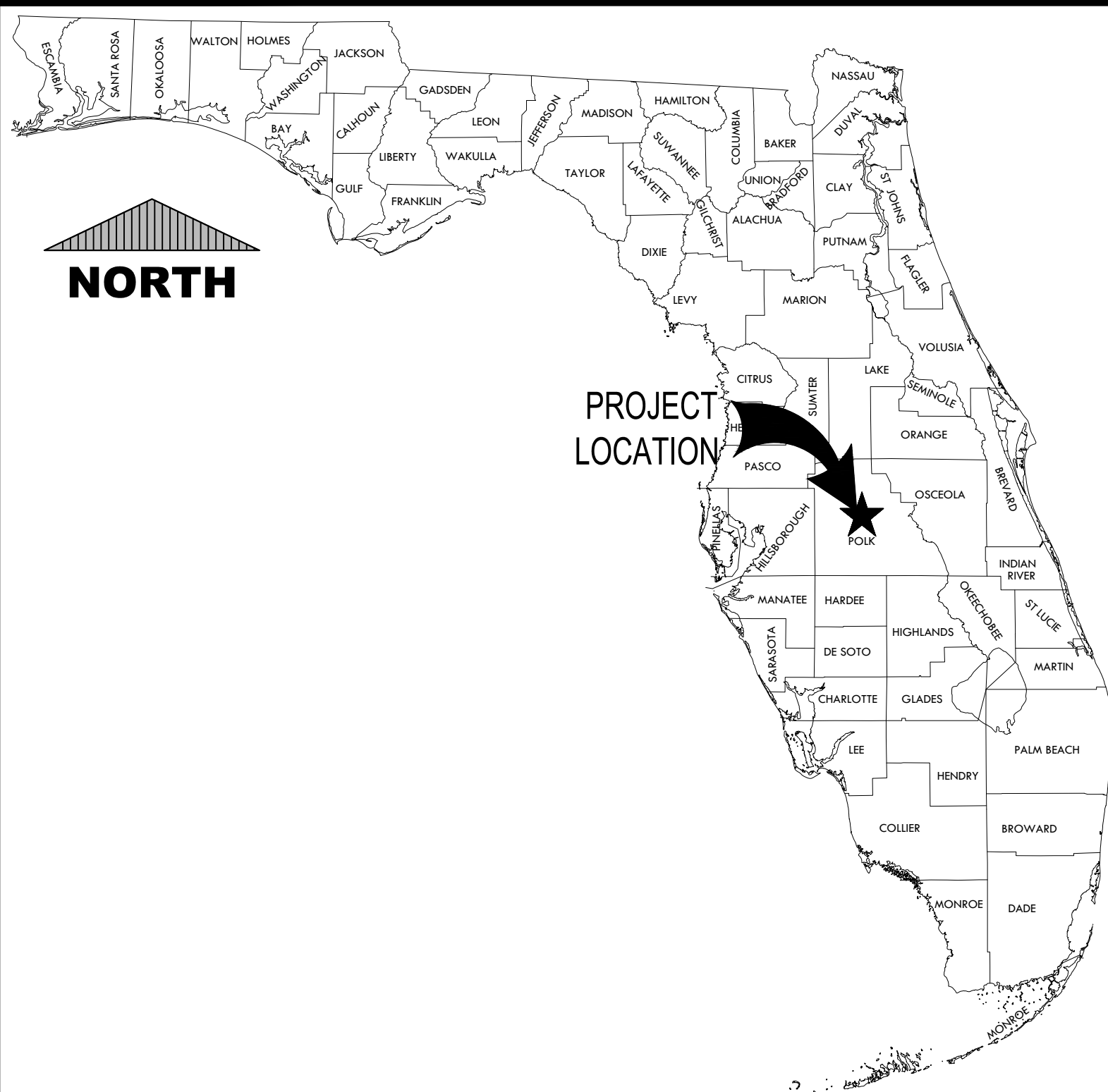
**COUNTERPARTS.** This Proposal may be executed in any number of counterparts. Each such counterpart hereof shall be deemed to be an original instrument, and all such counterparts together shall constitute one and the same instrument. Facsimile or electronic copies (PDF) of this Proposal and the signatures thereon shall have the same force and effect as if the same were original.

Gutters must be in place, in working order, and ported through the seawall or any and all warranties are void.

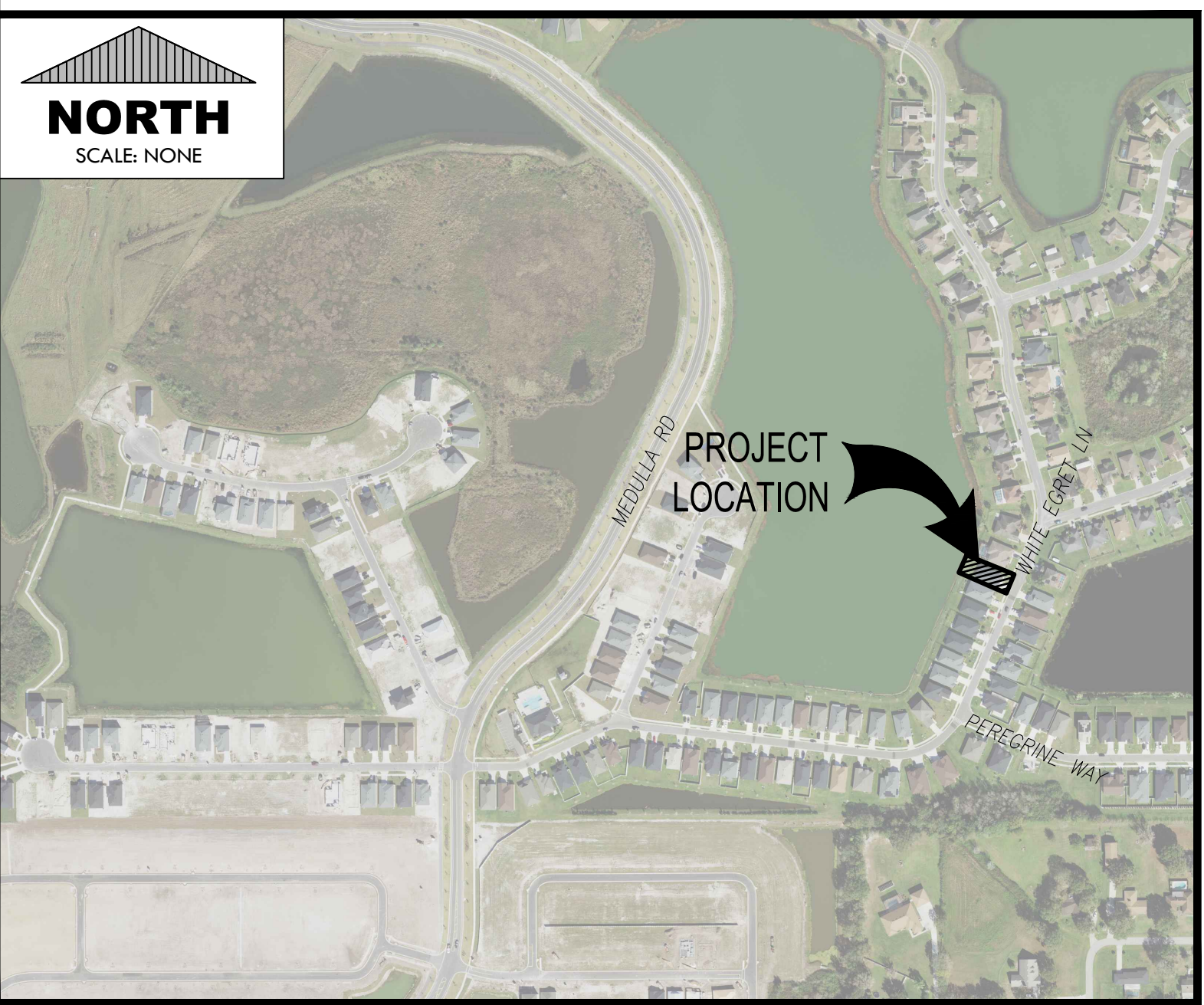
Materials prices are subject to change proportional to the market at time of purchase.

Any extreme soil or water conditions will result in a change of orders. This contract is based on 16', max length, poles for docks with normal soil density and seawalls with normal soil density.





**VICINITY MAP**



**LOCATION MAP**

**OWNER INFORMATION:**

YARBROUGH  
5239 WHITE EGRET LN  
LAKELAND, FLORIDA 33811

**CLIENT INFORMATION:**

STRAWNIX WATERFRONT SOLUTIONS  
DUSTIN KIRBY  
2302 HAWTHORNE TRAIL  
LAKELAND, FLORIDA 33803  
P: (836) 398-8737  
E: DUSTIN@STRAWNIX.COM

**ENGINEER INFORMATION:**

BARRY GINN, PE  
INFINITE ENGINEERING  
240 SW 8TH STREET, SUITE A  
OCALA, FLORIDA 34471  
P: (352) 267-1480  
E: BARRY@INFINITEENGL.COM  
CERT. OF AUTH. - 33000

# A DOCK DESIGN FOR YARBROUGH 5239 WHITE EGRET LN LAKELAND, FLORIDA 33811

CONSULTANT

**Infinite Engineering**  
240 SW 8TH STREET, SUITE A  
OCALA, FLORIDA 34471  
(352) 267-1480  
WWW.INFINITEENGL.COM  
CERT. OF AUTH. # 33000

PROJECT TITLE

**A DOCK DESIGN FOR  
YARBROUGH  
5239 WHITE EGRET LN  
LAKELAND, FLORIDA 33811**

SHEET TITLE

**COVER SHEET**

CLIENT INFORMATION

STRAWNIX WATERFRONT SOLUTIONS  
2302 HAWTHORNE TRAIL  
LAKELAND, FLORIDA 33803  
P: (836) 398-8737  
E: DUSTIN@STRAWNIX.COM

SUBCONSULTANTS

ENGINEER OF RECORD

BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 54595

ISSUE DATE

**December 3, 2024**

PROJECT NUMBER NUMBER

**2024-208**

REVISIONS

DATE	DESCRIPTION

SHEET DESIGNATION

**S000**

SHEET

**1** OF **3**

**CODE REFERENCES AND DATA**

FLORIDA BUILDING CODE, BUILDING, 2023 EDITION	OPEN
BUILDING CATEGORY	II
RISK CATEGORY	C
EXPOSURE	C
DESIGN WIND SPEED	141 MPH
V <sub>ULT</sub>	141 MPH
V <sub>ASD</sub>	109 MPH

**GENERAL NOTES**

ALL DRAWINGS AND SPECS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF INFINITE ENGINEERING. THESE PLANS AND SPECS SHALL NOT BE DUPLICATED, REPRODUCED OR REVISED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF INFINITE ENGINEERING. ANY REVISION, ADDITION OR DELETION TO THE SCOPE, DESIGN, OR INTENT BY ANYONE OTHER THAN INFINITE ENGINEERING, WILL ABSOLVE INFINITE ENGINEERING FROM ANY RESPONSIBILITY, SUITS, LITIGATION, OR LIABILITY CLAIMS RELATED TO THE PROJECT.

CONTRACTOR / OWNER SHALL INSPECT AND VERIFY THE SCOPE OF THE WORK AND CHECK ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY ADDITIONAL WORK APPARENT DURING FIELD INSPECTION BUT NOT SPECIFICALLY NOTED ON THE DRAWINGS SHALL BE CONSIDERED AS PART OF THE SCOPE OF WORK. IF ANY DISCREPANCIES IN THE BUILDING, SITE, OR DRAWINGS ARE DETECTED, NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

**DRAWING INDEX**

S000	COVER SHEET
S100	DECK PLANS
S101	DECK ELEVATIONS AND ISOMETRICS



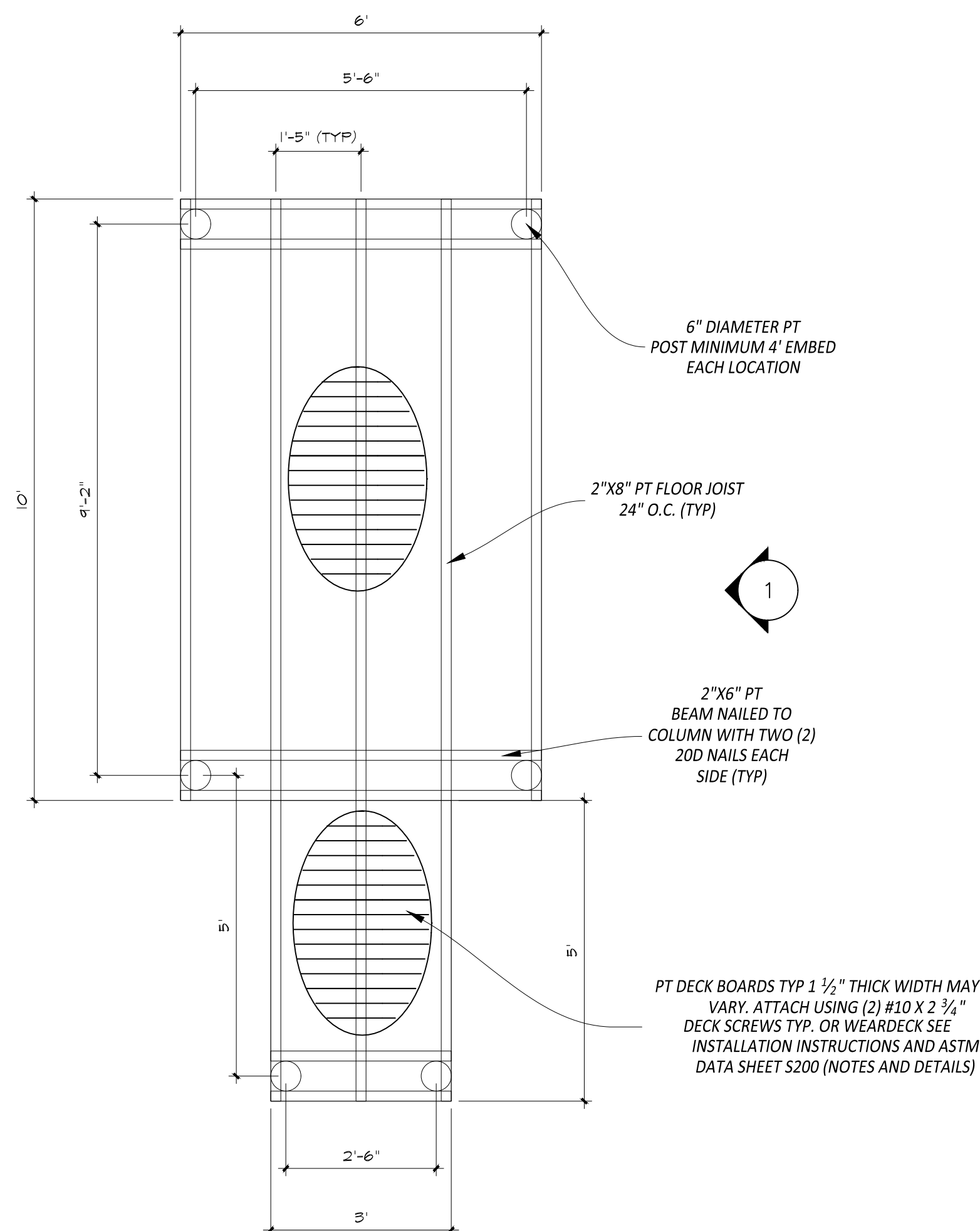
DATE	DESCRIPTION

STRUCTURAL CONNECTORS

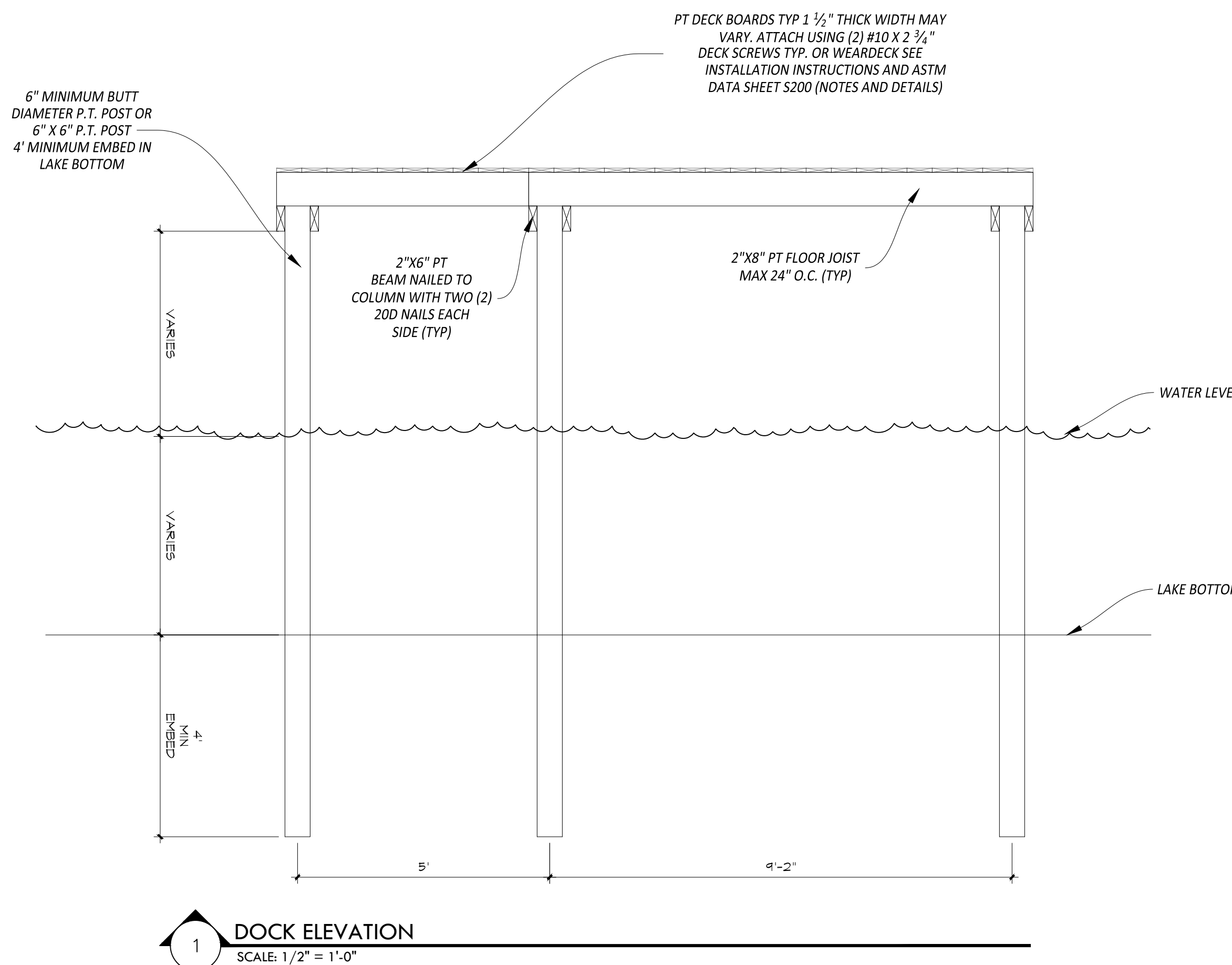
MANUFACTURER	PART NO.	PRODUCT APPROVAL #
SIMPSON	ABU44	FL10860.2
MITEK	PAU44	FL17239.12
SIMPSON	LUS SERIES	FL10531.16
MITEK	JUS SERIES	FL17232.14
SIMPSON	HRC22	FL10447.6
MITEK	RT15	FL17236.11
SIMPSON	H1	FL10456.7
SIMPSON	H10A	FL10456.7
SIMPSON	H2.5A	FL10456.7
SIMPSON	H8	FL10446.16
MITEK	RT16-2	FL17236.12
MITEK	RT16M	FL10739.1
MITEK	LTW12	FL17244.16
SIMPSON	HCP2	FL10447.4
MITEK	HHCP-2	FL17236.8
MITEK	HJC26	FL17236.10
SIMPSON	RR	FL10667.26
SIMPSON	LSTA21	FL13872.5
SIMPSON	SPH4	FL10456.31

GENERAL MATERIALS

PRODUCT	MANUFACTURER	TYPE	PRODUCT APPROVAL #
ROOFING	TRI COUNTY METALS	UNTRA-RIB	FL4595.17
ROOFING	UNION CORRUGATING	MASTER RIB	FL9555.2
SIDING	HARDOPLANK	LAP SIDING	FL3192.2
ROOFING	TAMKO	5" TAB ASPHALT	FL18355.1
ROOFING	TAMKO	HVY. WT. 30	FL123828.1
DOORS	MASONITE	WOODGRD® STL.	FL2957.1
ROOFING UNDERLAY	TAMKO	15# FELT	FL2328.1
ROOFING UNDERLAY	TAMKO	30# FELT	FL12328.1
WINDOWS	M.I.	3500 SERIES	FL17676-R17



DOCK PLAN  
SCALE: 1/2" = 1'-0"



DOCK ELEVATION  
SCALE: 1/2" = 1'-0"



ARCHITECTURAL SITE PLAN  
SCALE: N.T.S.

- GENERAL NOTES:**
- ALL POSTS SHALL BE PRESSURE-TREATED:  
SALT-WATER = 2.50  
FRESH WATER = 0.60
  - ALL FRAMING LUMBER SHALL BE #2 S.Y.P. (UNLESS OTHERWISE SPECIFIED)



# STRUCTURAL NOTES

WIND RESISTANCE OF THE REFERENCED BUILDING HAS BEEN DESIGNED USING A WIND SPEED OF 141MPH AS REQUIRED BY FLORIDA BUILDING CODE 2023 (8TH EDITION).

### BASIC WIND SPEED

ULTIMATE WIND SPEED OF 141 MPH (V<sub>ult</sub>)  
 NOMINAL DESIGN WIND SPEED OF 109MPH (V<sub>asd</sub>)

RISK CATEGORY II  
 WIND EXPOSURE G  
 ASSUMED SOIL BEARING CAPACITY 2,000PSF

(IF SITE CONDITIONS DO NOT SUPPORT THIS ASSUMPTION, CONTACT THE ENGINEER. THE DESIGN ALSO ASSUMES SOILS WHICH ARE NON-EXPANSIVE, AND ARE COMPACT. SOILS SUCH AS LOOSE SANDS OR EXPANSIVE CLAYS MAY REQUIRE REMEDIAL TREATMENT, AND A GEOTECHNICAL ENGINEER SHOULD BE CONSULTED FOR RECOMMENDATIONS.)

### GENERAL REQUIREMENTS:

- STRUCTURAL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2023 (8TH EDITION).
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER PROJECT DRAWINGS BY OTHER DISCIPLINES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODES LISTED BELOW.

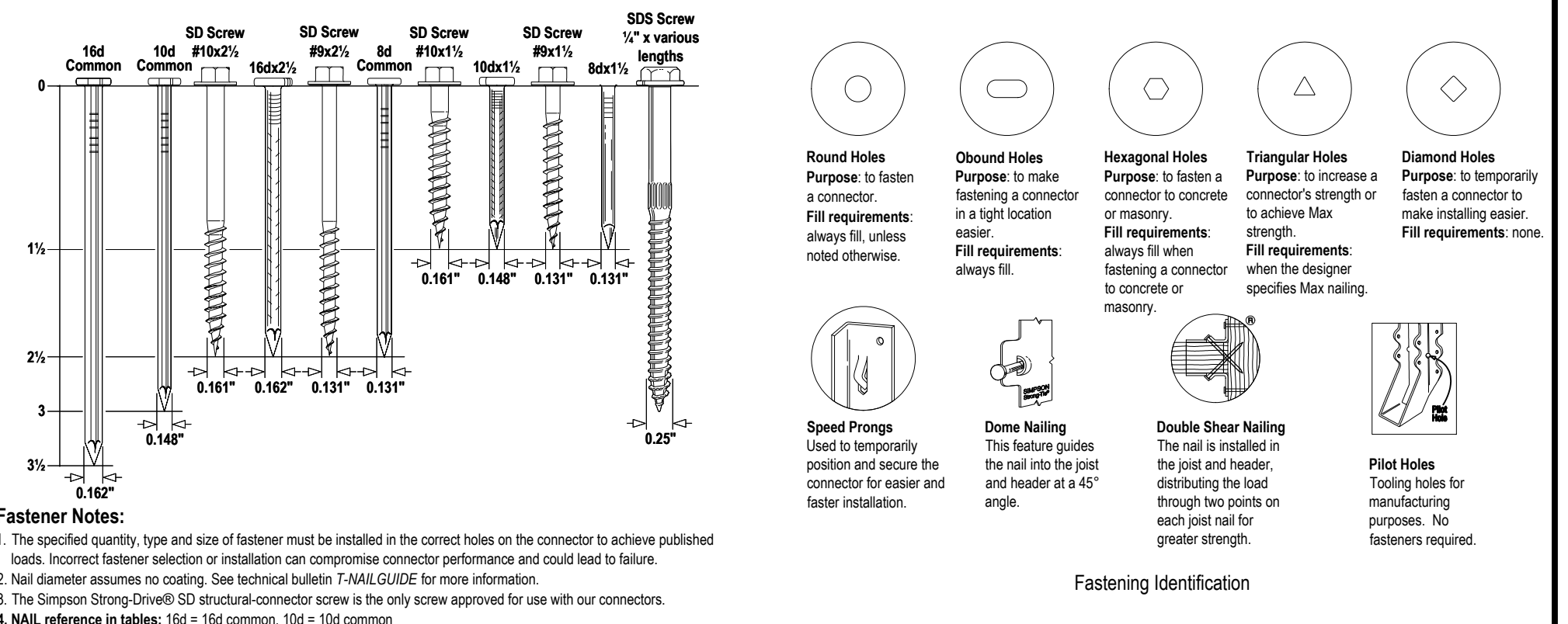
### CONTRACTOR REQUIREMENTS:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS RELATING TO EXISTING CONDITION BY MAKING FIELD SURVEYS AND MEASUREMENTS PRIOR TO COMMENCING FABRICATION OF CONSTRUCTION. VERIFICATION SHALL BE MADE WITH NOT ONLY THE EXISTING CONDITIONS BUT ALSO WITH THE ARCHITECTURAL AND STRUCTURAL PLANS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED WILL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES OR OTHER PROPERTY. THIS REQUIREMENT IS PARTICULARLY IMPORTANT DURING FOUNDATION INSTALLATION.
- THE GENERAL CONTRACTOR IS ADVISED TO CONSIDER PERFORMING PHOTOGRAPHIC SURVEYS AND OTHER DOCUMENTATION OF THE CONDITION OF ADJACENT BUILDINGS AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SHORING OF ALL STRUCTURAL MEMBERS AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND STRUCTURAL ENGINEER OF ANY CONDITION WHICH, IN HIS OPINION, MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS IN THE STRUCTURE.
- WRITTEN REQUESTS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL OF ANY PROPOSED CHANGE TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE ALTERED UNLESS APPROVED IN WRITING BY STRUCTURAL ENGINEER. THE RESULTS OF ANY UNAUTHORIZED DEVIATION FROM THE CONTRACT DOCUMENTS, AND CORRECTION THEREOF, BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.

### CONSTRUCTION RESPONSIBILITY:

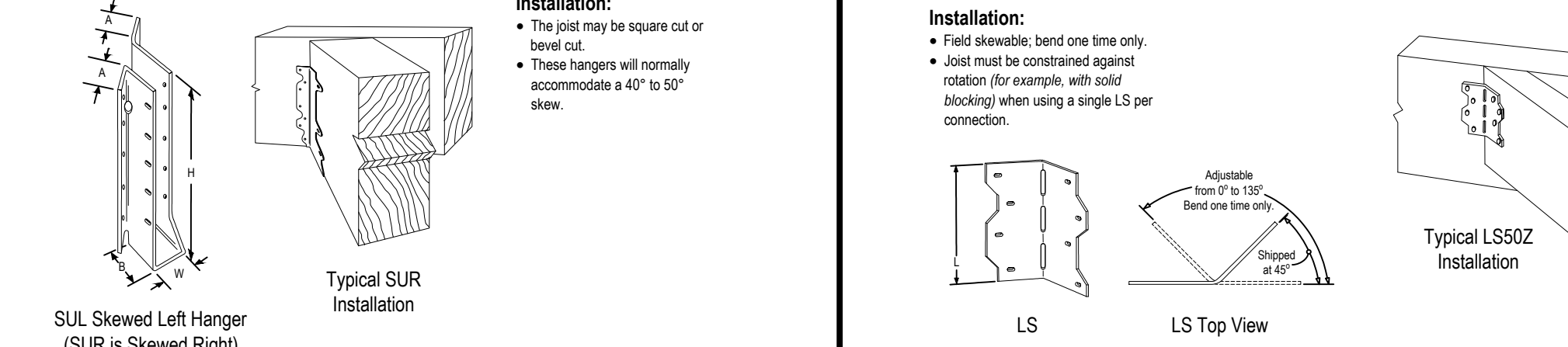
THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE, AND ARE NOT INTENDED TO INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND FOR JOB SAFETY.

THE ENGINEER DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.



### FASTENERS

SCALE: NONE



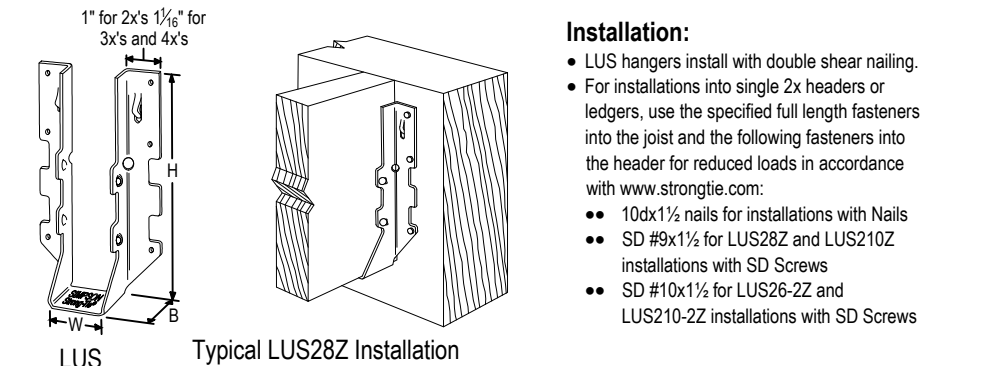
Model No.	Joist Size	Dimensions (in.)						Fasteners	
		W	H	B	A1	A2	Header	Joist	
SURL26Z	2x6, 8	1 9/16	5	2	1 1/8	1 5/16	6-16d	6-10dx1 1/2	
SURL10Z	2x10, 12	1 9/16	8 1/8	2	1 1/8	1 5/16	10-16d	10-10dx1 1/2	
SURL210-ZZ	2 1/2 x 10, 12	3 1/8	8 11/16	2 5/8	1 7/16	2 3/8	14-16d	6-16dx2 1/2	

### SUR/SUL 45 Deg Skewed Joist Hangers

SCALE: NONE

### LS FRAMING ANGLES

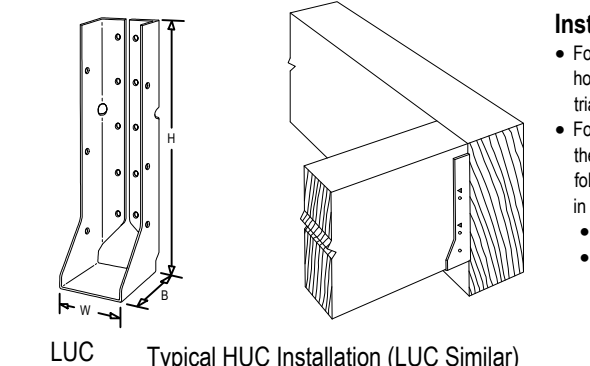
SCALE: NONE



Model No.	Dimensions (in.)			Fasteners			
	W	H	B	Header	Joist	Header	Joist
LUS26Z	1 9/16	4 3/4	1 3/4	4-10d	4-10d	-	-
LUS28Z	1 9/16	6 5/8	1 3/4	6-10d	4-10d	6-SD #9x2 1/2	4-SD #9x2 1/2
LUS210Z	1 9/16	7 13/16	1 3/4	8-10d	4-10d	8-SD #9x2 1/2	4-SD #9x2 1/2
LUS26-ZZ	3 1/8	4 7/8	2	4-16d	4-16d	4-SD #10x2 1/2	4-SD #10x2 1/2
LUS210-ZZ	3 1/8	9	2	8-16d	6-16d	8-SD #10x2 1/2	6-SD #10x2 1/2

### LUS Joist Hangers

SCALE: NONE



Model No.	Dimensions (in.)			Fasteners			
	W	H	B	Header	Joist	Header	Joist
LUC26Z	1 9/16	4 3/4	1 3/4	6-10d	4-10d#1 1/2	6-SD #9x2 1/2	4-SD #9x1 1/2
LUC210Z	1 9/16	7 3/4	1 3/4	10-10d	6-10d#1 1/2	10-SD #9x2 1/2	6-SD #9x1 1/2
HUC26-ZZ	3 1/8	5 3/8	2 1/2	12-16d	6-10d	-	-
HUC28-ZZ	3 1/8	7	2 1/2	14-16d	6-10d	-	-
HUC210-ZZ	3 1/8	8 13/16	2 1/2	18-16d	10-10d	-	-

### LUC/HUC Joist Hangers

SCALE: NONE



PROJECT TITLE

**A DOCK DESIGN FOR  
 YARBROUGH  
 5239 WHITE EGRET LN  
 LAKELAND, FLORIDA 33811**

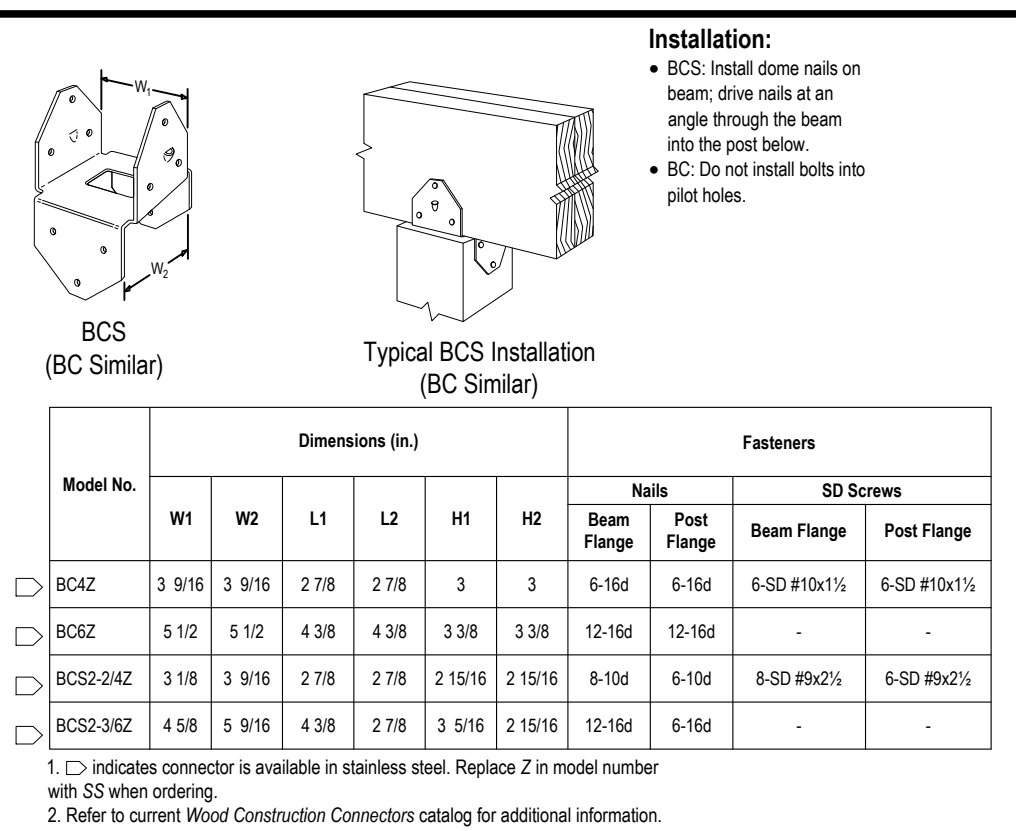
SHEET TITLE

**DOCK PLAN,  
 ISOMETRICS  
 NOTES AND  
 DETAILS**

CLIENT INFORMATION

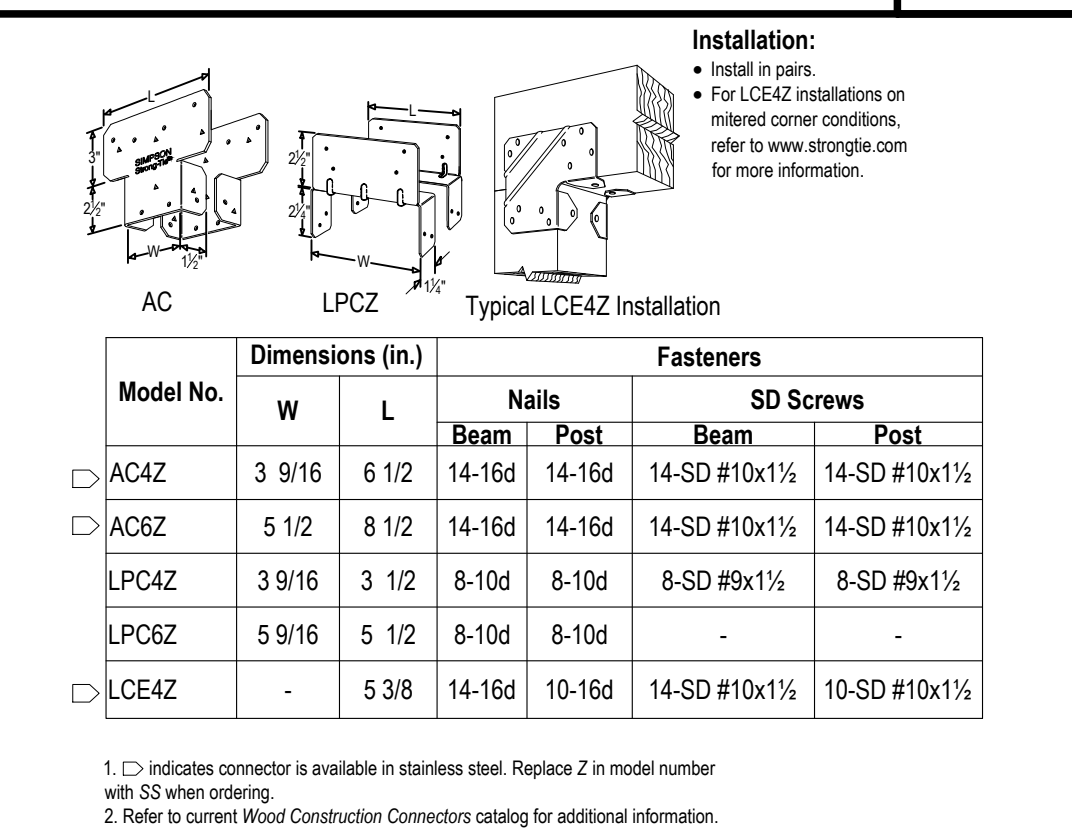
**STRAWNIX WATERFRONT SOLUTIONS**  
 2302 HAWTHORNE TRAIL  
 LAKELAND, FLORIDA 33083  
 P: (863) 398-8737  
 EDUSTIN@STRAWNIX.COM

SUBCONSULTANTS



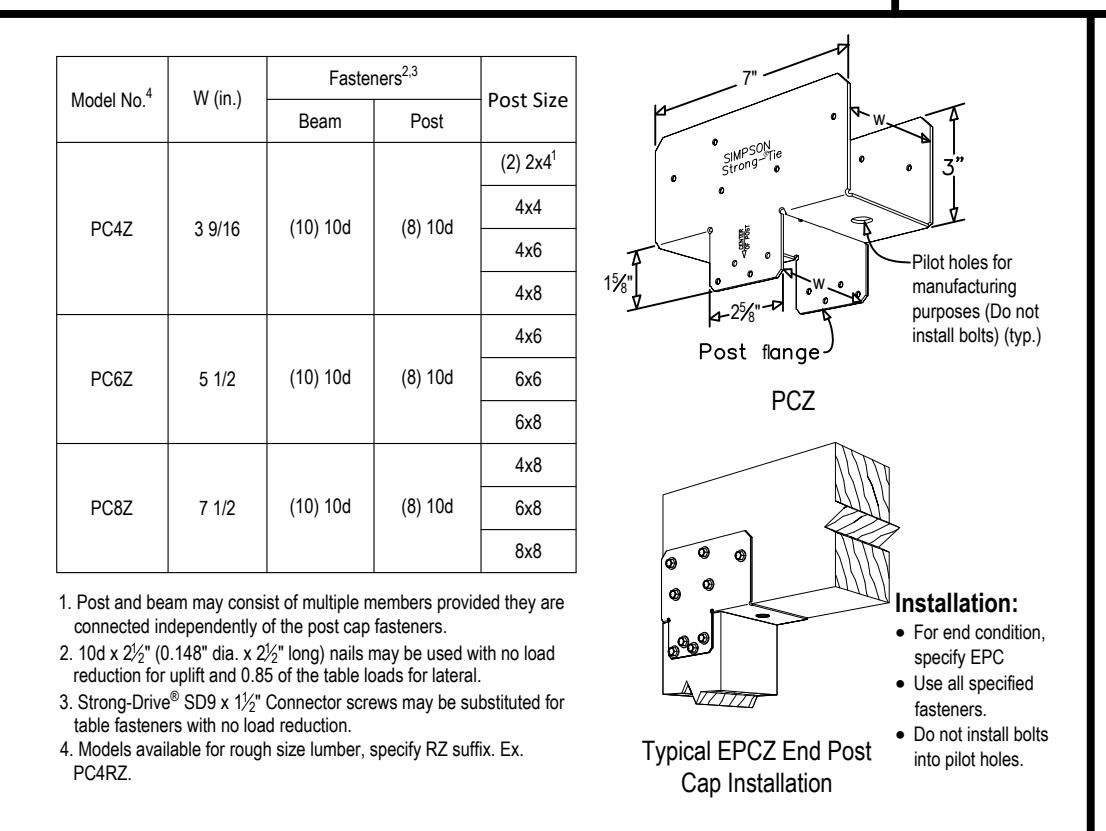
### BC/BCS POST CAPS

SCALE: NONE



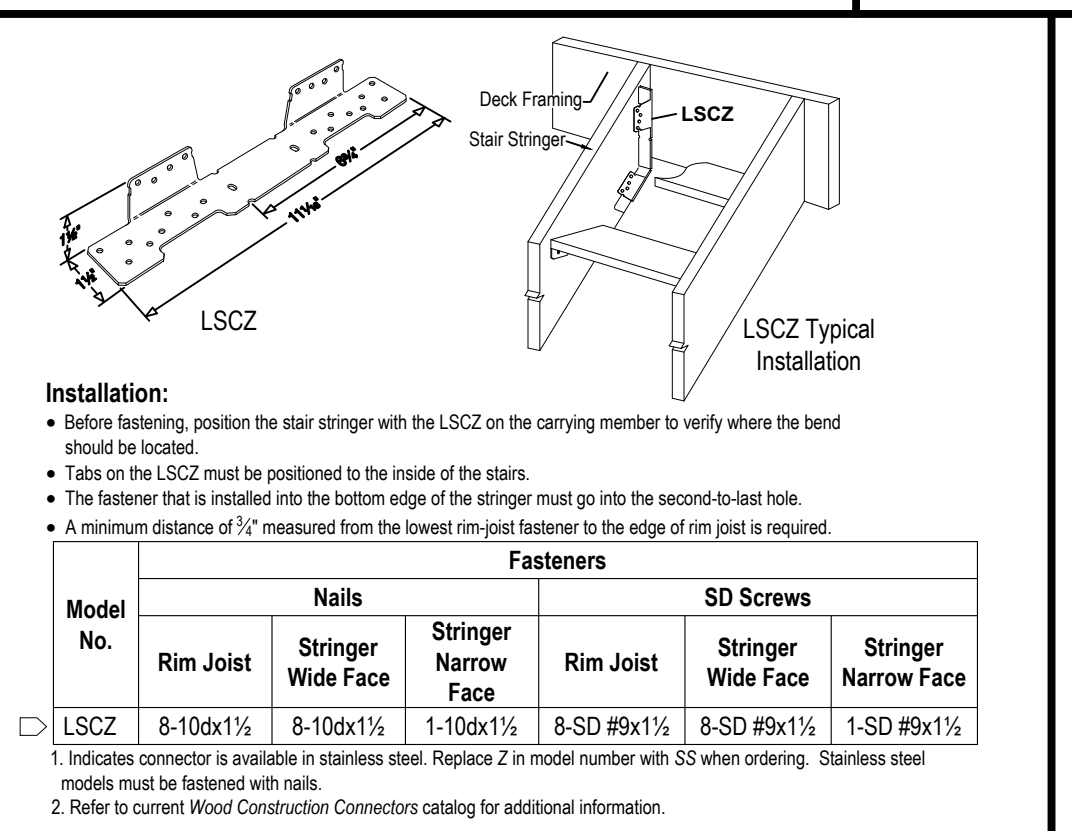
### AC/LPC/LCE POST CAPS

SCALE: NONE



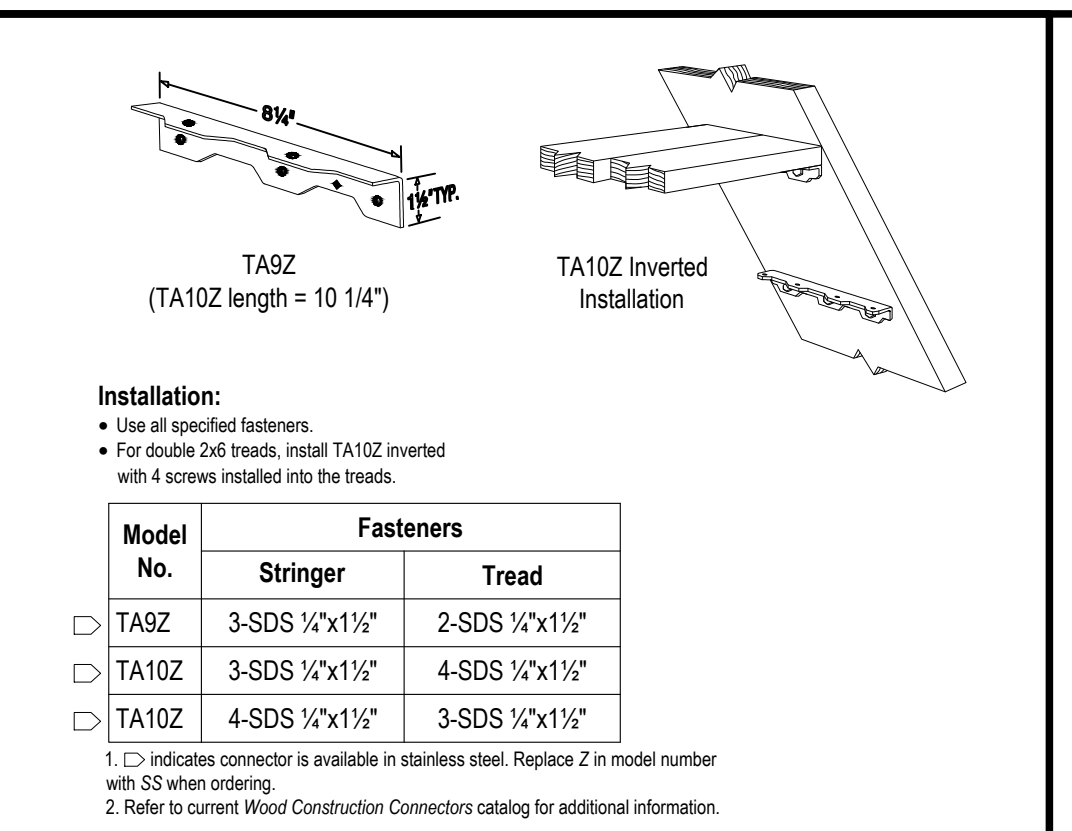
### PC/EPC POST CAPS

SCALE: NONE



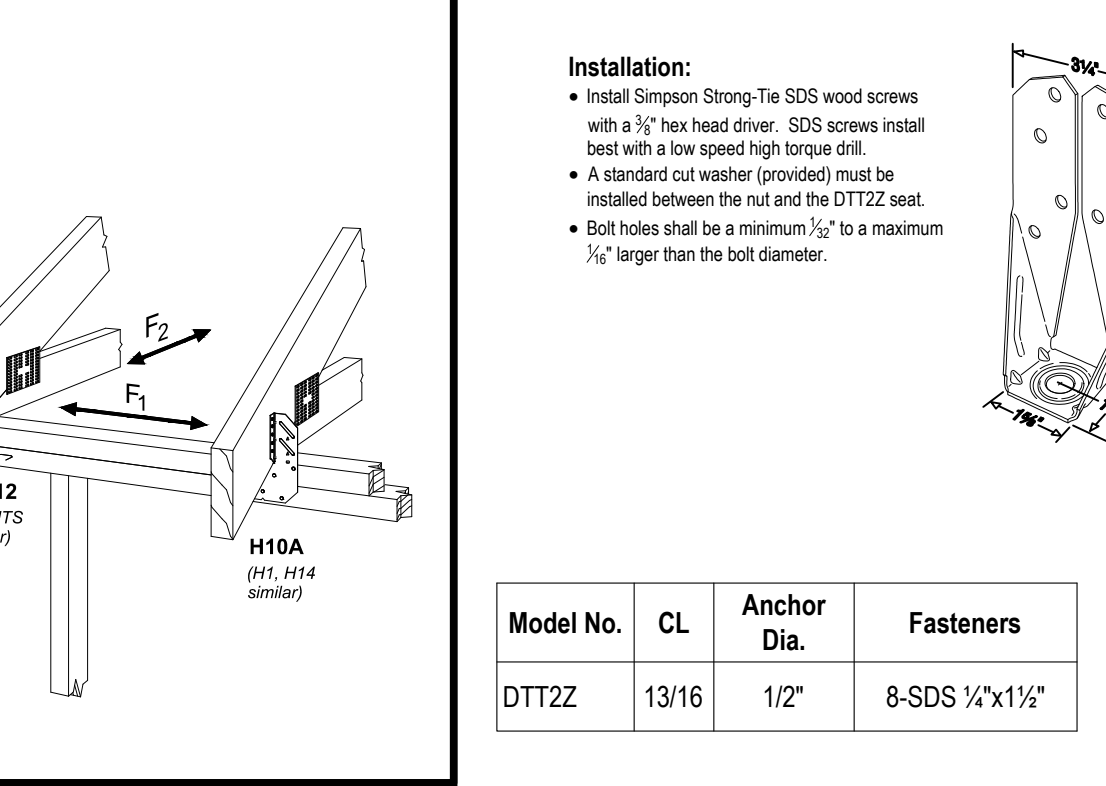
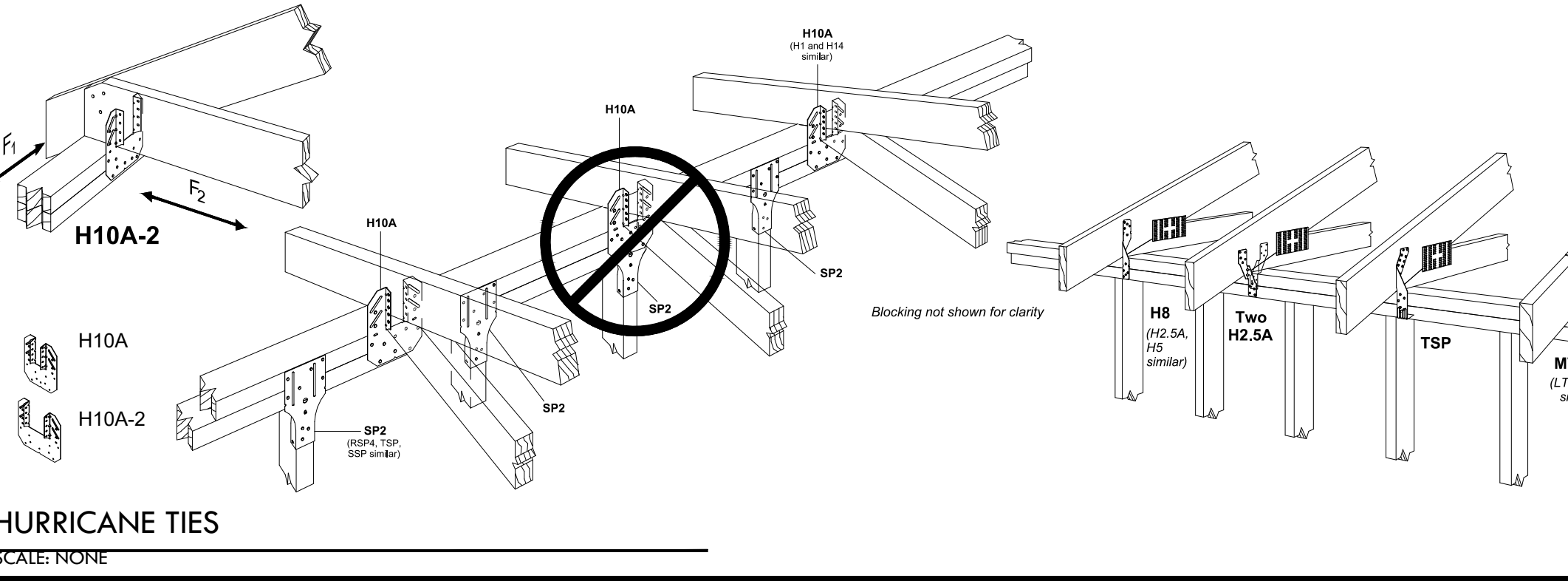
### LSC STAIR STRINGER CONNECTOR

SCALE: NONE



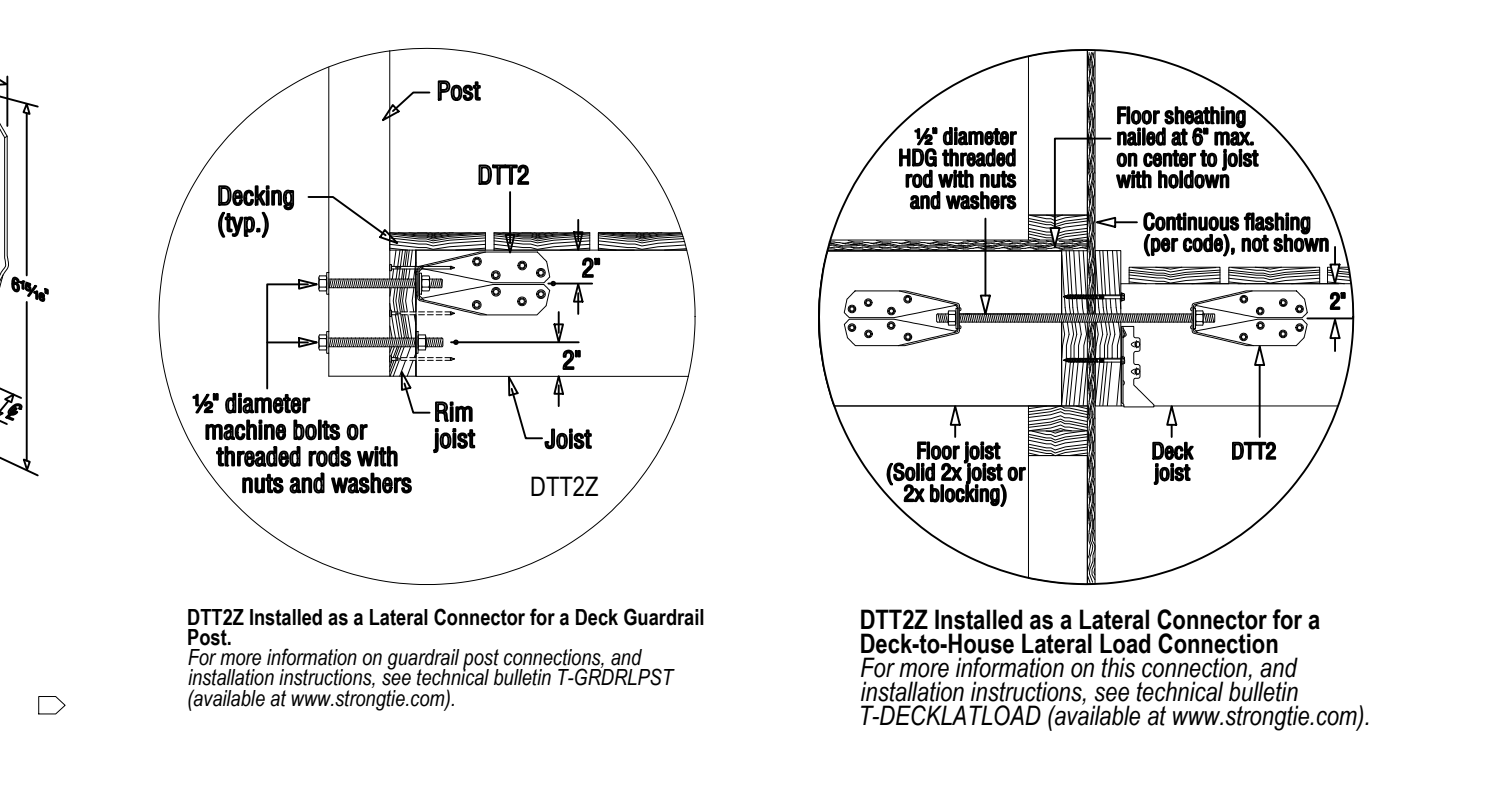
### TA TREAD ANGLE

SCALE: NONE



### DECK TENSION TIE

SCALE: NONE



### DECK-TO-HOUSE LATERAL LOAD CONNECTOR

SCALE: NONE

DETAILS AND FASTENER REQUIREMENTS					ALLOWABLE LOADS			
MODEL NUMBER	GA.	W	L	H	FASTENER QTY	FASTENER SIZE	TENSION/UPLIFT (100/160)	F1
BCS2-2/4	18	3 3/8	3 3/8	2 1/8	12	0.148"x3"	895	890

**POST CAP CONNECTOR**

SCALE: NONE

ASTM TESTING FOR 5/4X6"		
PROPERTY	REQUIREMENT	RESULT
WEIGHT	ASTM D6111	1.9LBS/FT
MODULES OF ELASTICITY	ASTM D6109	633,665 PSI
FLEXURAL STRENGTH	ASTM D6109	7,038 PSI
TEMPERATURE/MOISTURE EFFECT	ICC-ES AC174	MEETS CODE REQ. EFFECT
CREEP RELAXATION	ICC-ES AC174	MEETS CODE REQ.
UV RESISTANCE	ICC-ES AC174	MEETS CODE REQ.
COMPRESSIVE MODULES	ASTM D6108	84,700 PSI
SPECIFIC GRAVITY	ASTM D2395	0.7550
SCREW WITHDRAWAL	ASTM D1761	641 LBS
COF SLIP RESISTANCE	ASTM F1679	0.67 DRY/0.69 WET
COF OF LINER THERMAL EXPANSION	ASTM D696	0.8 X 10 (5) (IN/IN/F)

ASTM TESTING FOR 2X8" & 2X10"		
PROPERTY	REQUIREMENT	RESULT
WEIGHT	ASTM D6111	0.027
MODULES OF ELASTICITY	ASTM D6109	633,665 PSI
FLEXURAL STRENGTH	ASTM D6109	7,038 PSI
TEMPERATURE/MOISTURE EFFECT	ICC-ES AC174	MEETS CODE REQ. EFFECT
CREEP RELAXATION	ICC-ES AC174	MEETS CODE REQ.
UV RESISTANCE	ICC-ES AC174	MEETS CODE REQ.
COMPRESSIVE MODULES	ASTM D6108	84,700 PSI
SPECIFIC GRAVITY	ASTM D2395	0.7550
SCREW WITHDRAWAL	ASTM D1761	641 LBS
COF OF LINER THERMAL EXPANSION	ASTM D696	0.8 X 10 (5) (IN/IN/F)

LIVE LOAD CAPACITY		
PROFILE	MAXIMUM LOAD	SPAN
3/2" X 6"	374 LBS./SQ FT	12" O.C.
3/2" X 6"	266 LBS./SQ FT	16" O.C.
3/2" X 6"	120 LBS./SQ FT	24" O.C.
3/2" X 8"	200 LBS./SQ FT	24" O.C.
2" X 6"	644 LBS./SQ FT	12" O.C.
2" X 6"	306 LBS./SQ FT	24" O.C.
2" X 8"	640 LBS./SQ FT	24" O.C.

### WEARDECK

SCALE: NONE

### FASTENERS AND ALLOWABLE LOADS

MODEL NUMBER	MINIMUM RAFTER SIZE	FASTENERS (RIDGES)	FASTENERS (RAFTERS)	UPLIFT (160)	FLOOR LOAD (100)	ROOF (125)
RR	2"x6"	(4) 0.148X1 1/2	(4) 0.148X1 1/2	130	330	330

### RIDGE RAFTER CONNECTOR

SCALE: NONE

### DETAILS AND FASTENERS REQUIREMENTS

MODEL NUMBER	GA.	WIDTH	UPLIFT	FASTENER QTY	FASTENER SIZE
HS24	18	3 3/8"	645	16	0.148"x1 1/2" OR 0.131"x1 1/2"

### HURRICANE TIE CONNECTOR

SCALE: NONE

Model Number	Member Size	Fasteners (in.)		ALLOWABLE LOADS		
		W	RIDGE	CARRYING MEMBER	Each Hip	UPLIFT (160)
HRC22	1 3/8 2X	(16) 0.148X1 1/2	(2) 0.148 X 1 1/2	370	1,185	

**HRC HIP RIDGE CONNECTOR**

SCALE: NONE

### REVISIONS

DATE	DESCRIPTION

### SHEET DESIGNATION

**\$200**

3 OF 3

# SECTION B

# Highland Community

## Management OFFICE USE ONLY OWNER CHARGED:

**Application Processing Fee of \$25.00 will be charged to your account and must be paid within 10 days of application being submitted. Payments can be made online via your homeowner portal, please visit [www.hcmanagement.org](http://www.hcmanagement.org) to register if you have not already.**

### DECK ALTERATION APPLICATION

OWNER'S NAME: \_\_\_\_\_ Arthur Lamb \_\_\_\_\_ DATE: \_\_\_\_\_ 11/7/24 \_\_\_\_\_ ADDRESS: \_\_\_\_\_ 5251 White  
Egret Ln, Lakeland, FL 33811 \_\_\_\_\_ PHONE: \_\_\_\_\_ 916-613-4117 \_\_\_\_\_ EMAIL ADDRESS:  
\_\_\_\_\_ basslamb@yahoo.com \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_ Town Park Estates Phase 2A

DESCRIBE IN DETAIL, TYPE OF SHED ALTERATION:  
\_\_\_\_\_ 3' x 5' dock approach to a 6'x10' dock platform. Traditional wood (PT)  
construction \_\_\_\_\_

**PLEASE INCLUDE THE FOLLOWING ITEMS ALONG WITH THIS APPLICATION:** ○ A picture of the deck you will be installing to include the materials, color and size ○ A copy of the contractor's estimate to confirm the deck to be installed ○ A sketch of the proposed installation to be done on a survey of your lot ○ If your HOA requires a deck to be installed in a yard with a privacy fence, please include a picture of your fence yard or the application for the fence to be done in conjunction with the shed installation.

\*Any missing documents can delay the review of your application.

(IF MORE SPACE IS REQUIRED, PLEASE ATTACH TO THIS FORM. THANK YOU)

If approval is granted, it is not to be construed to cover approval of any County or City Code Requirements. A building permit from the appropriate building department is needed on most property alterations and/or improvements. The Architectural Review Committee shall have no liability or obligation to determine whether such improvement, alteration and addition comply with any applicable law, rule, regulation, code or ordinance.

Homeowner Signature: \_\_\_\_\_ *Arthur C Lamb* \_\_\_\_\_ Date: \_\_\_\_\_ *12/17/24* \_\_\_\_\_

\_\_\_\_\_ Approved  
\_\_\_\_\_ Approved with changes (see attached)  
\_\_\_\_\_ Denied: see reasons

HOA Signature: \_\_\_\_\_ Date: \_\_\_\_\_

\*Please return form by email: [admin@hcmanagement.org](mailto:admin@hcmanagement.org)

StrawNix Docks and Seawalls, LLC

863-934-6218

Date: 10/21/24  
Proposal submitted to:  
Name: ARTHUR "SKIP" LAMB  
Address: 5251 WHITE EGRET LN 33811  
Phone No: 916-613-4117

PARCEL ID #  
27-29-08-139621-005400

Basslamb@yahoo.com

We hereby propose to furnish the materials and perform the labor necessary for the completion of:

- 3' X 5' APPROACH TO A 6' X 10' PLATFORM

↳ TRADITIONAL WOOD CONSTRUCTION (PT)

\* ENGINEERING + LOCAL PERMITTING INCLUDED  
\* 5 YR WARRANTY ON CRAFTSMANSHIP  
\* LABOR & MATERIALS INCLUDED

\* \$500.00 DISCOUNT APPLIES IF J. YARBROUGH BUILDS AS WELL

All construction techniques will be to current building code/hurricane ratings. All lumber will be Southern Yellow Pine treated to the maximum allowable by D.E.P. (no box store lumber). All hardware will be galvanized or stainless steel. Sod/landscaping is not included in this proposal. All material is to be specified, and the above work to be performed in accordance and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of SIX THOUSAND EIGHT HUNDRED

Dollars (\$ 6,800 ) with payments to be made as follows:

\$2,000 non-refundable deposit. 50% Materials Deposit one (1) week before commencement: \$ 2,400 \$3,500/week until completed. Balance due upon completion of work.

Respectfully submitted  JUSTIN KIRBY

\*this proposal may be withdrawn by us if not accepted within 10 days.

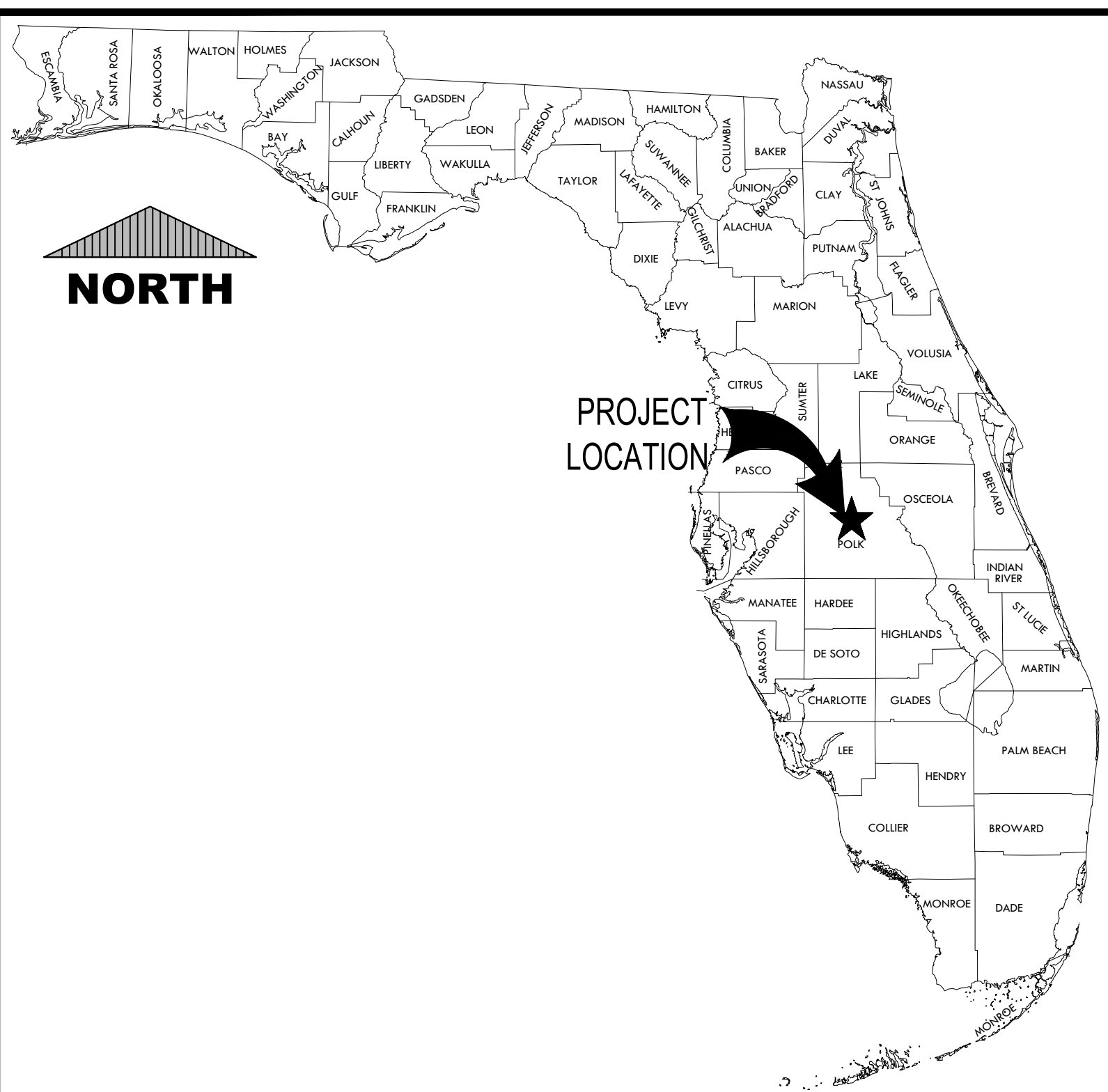
ACCEPTANCE OF PROPOSAL

The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

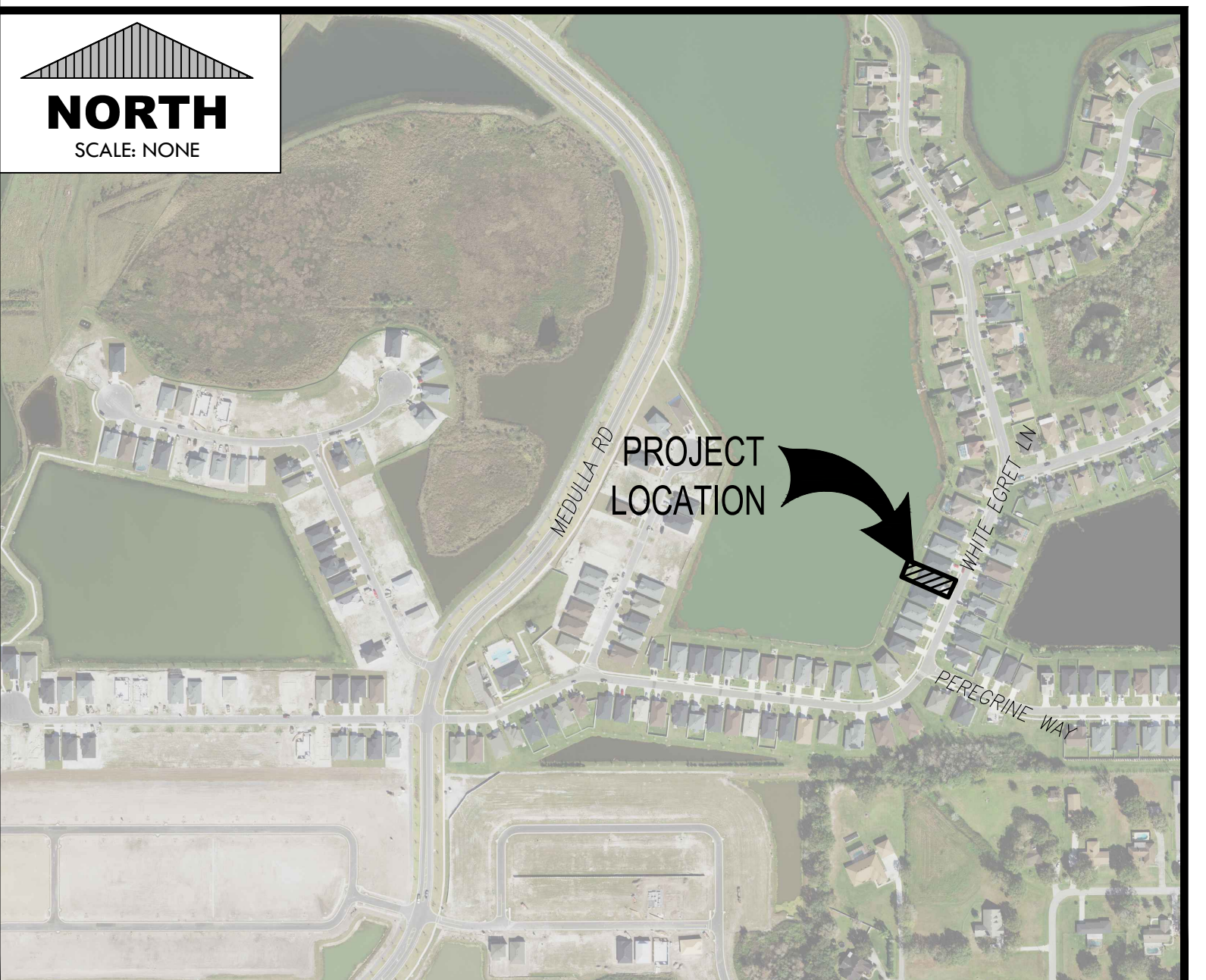
Date \_\_\_\_\_

Signature \_\_\_\_\_





**VICINITY MAP**



**LOCATION MAP**

**OWNER INFORMATION:**

LAMB  
5251 WHITE EGRET LN  
LAKELAND, FLORIDA 33811

**CLIENT INFORMATION:**

STRAWNIX WATERFRONT SOLUTIONS  
DUSTIN KIRBY  
2302 HAWTHORNE TRAIL  
LAKELAND, FLORIDA 33803  
P: (836) 398-8737  
E: DUSTIN@STRAWNIX.COM

**ENGINEER INFORMATION:**

BARRY GINN, PE  
INFINITE ENGINEERING  
240 SW 8TH STREET, SUITE A  
OCALA, FLORIDA 34471  
P: (352) 267-1480  
E: BARRY@INFINITEENGL.COM  
CERT. OF AUTH. - 33000

# A DOCK DESIGN FOR LAMB 5251 WHITE EGRET LN LAKELAND, FLORIDA 33811

CONSULTANT

**Infinite Engineering**  
240 SW 8TH STREET, SUITE A  
OCALA, FLORIDA 34471  
(352) 267-1480  
WWW.INFINITEENGL.COM  
CERT. OF AUTH. # 33000

PROJECT TITLE

**A DOCK DESIGN FOR  
LAMB  
5251 WHITE EGRET LN  
LAKELAND, FLORIDA 33811**

SHEET TITLE

**COVER SHEET**

CLIENT INFORMATION

STRAWNIX WATERFRONT SOLUTIONS  
2302 HAWTHORNE TRAIL  
LAKELAND, FLORIDA 33803  
P: (836) 398-8737  
E: DUSTIN@STRAWNIX.COM

SUBCONSULTANTS

ENGINEER OF RECORD

BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 54595

ISSUE DATE

**December 4, 2024**

PROJECT NUMBER NUMBER

**2024-192**

REVISIONS

DATE	DESCRIPTION

SHEET DESIGNATION

**S000**

SHEET

**1 OF 3**

**CODE REFERENCES AND DATA**

FLORIDA BUILDING CODE, BUILDING, 2023 EDITION	OPEN
BUILDING CATEGORY	II
RISK CATEGORY	C
EXPOSURE	C
DESIGN WIND SPEED	141 MPH
V <sub>ULT</sub>	141 MPH
V <sub>ASD</sub>	109 MPH

**GENERAL NOTES**

ALL DRAWINGS AND SPECS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF INFINITE ENGINEERING. THESE PLANS AND SPECS SHALL NOT BE DUPLICATED, REPRODUCED OR REVISED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF INFINITE ENGINEERING. ANY REVISION, ADDITION OR DELETION TO THE SCOPE, DESIGN, OR INTENT BY ANYONE OTHER THAN INFINITE ENGINEERING, WILL ABSOLVE INFINITE ENGINEERING FROM ANY RESPONSIBILITY, SUITS, LITIGATION, OR LIABILITY CLAIMS RELATED TO THE PROJECT.

CONTRACTOR / OWNER SHALL INSPECT AND VERIFY THE SCOPE OF THE WORK AND CHECK ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY ADDITIONAL WORK APPARENT DURING FIELD INSPECTION BUT NOT SPECIFICALLY NOTED ON THE DRAWINGS SHALL BE CONSIDERED AS PART OF THE SCOPE OF WORK. IF ANY DISCREPANCIES IN THE BUILDING, SITE, OR DRAWINGS ARE DETECTED, NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

**DRAWING INDEX**

S000	COVER SHEET
S100	DECK PLANS
S101	DECK ELEVATIONS AND ISOMETRICS





Infinite Engineering

240 SW 8TH STREET, SUITE A  
OCALA, FLORIDA 34471  
(352) 281-1489  
WWW.INFINITEENGL.COM  
CERT. OF AUTH. # 33000

PROJECT TITLE

A DOCK DESIGN FOR  
LAMB  
LAMB  
5251 WHITE EGRET LN  
LAKELAND, FLORIDA 33811

SHEET TITLE

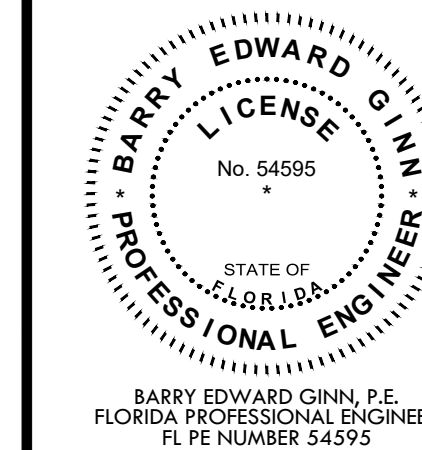
DOCK PLAN

CLIENT INFORMATION

STRAWNIX WATERFRONT SOLUTIONS  
2302 HAWTHORNE TRAIL  
LAKELAND, FLORIDA 33083  
P: (863) 398-8737  
EDUSTIN@STRAWNIX.COM

SUBCONSULTANTS

ENGINEER OF RECORD



BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 54595

ISSUE DATE

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DATE	DESCRIPTION

SHEET DESIGNATION

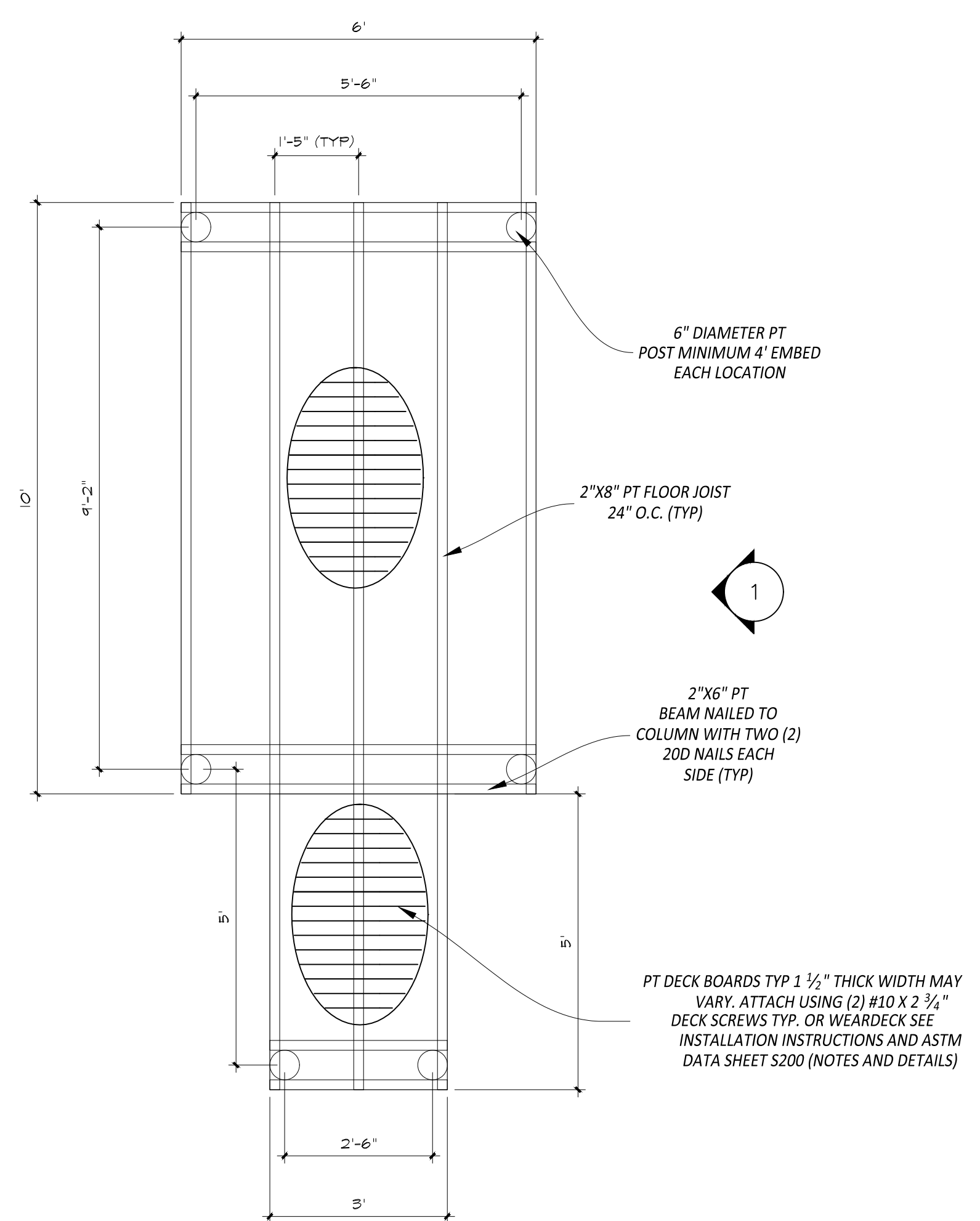
S100

SHEET

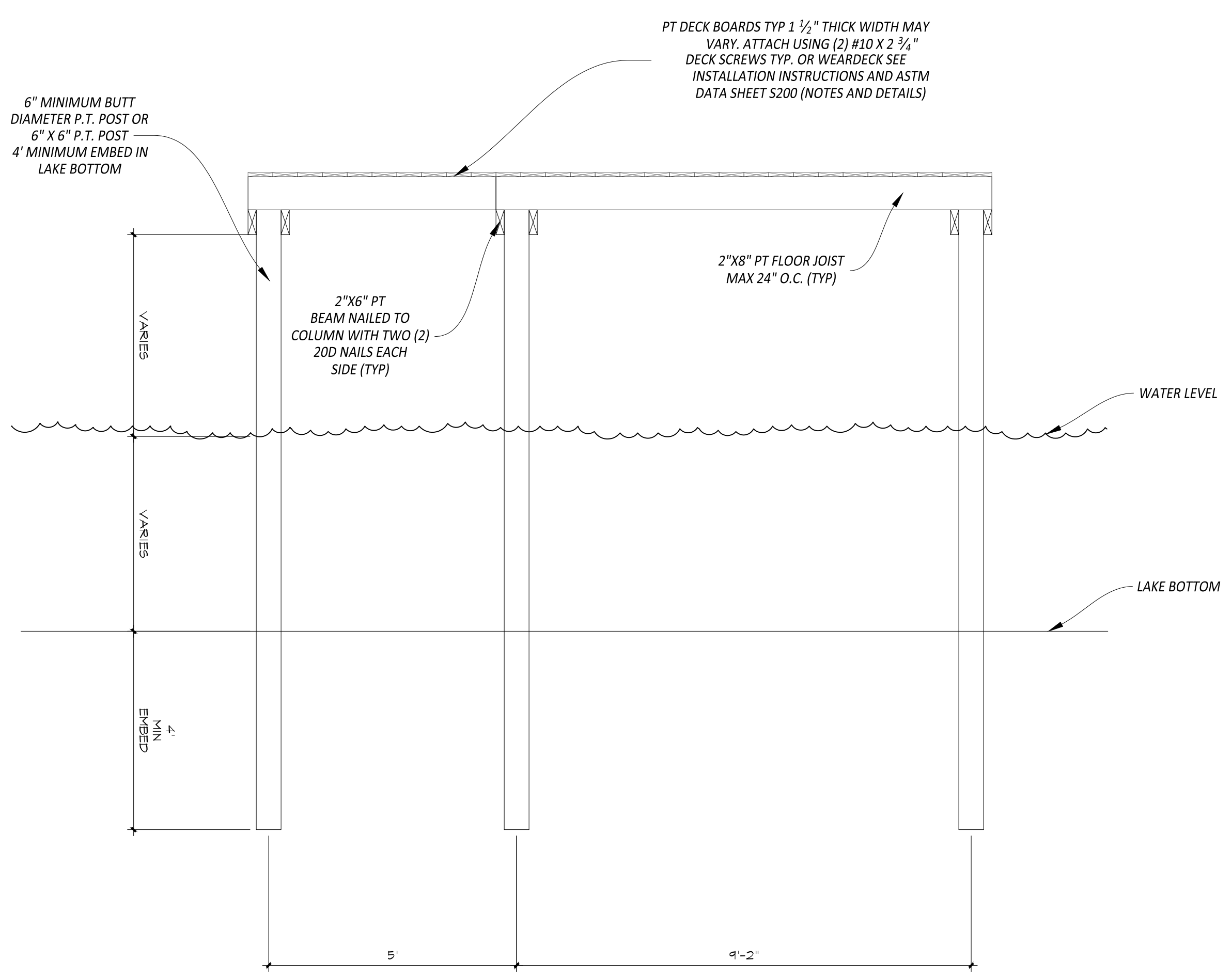
2 OF 3

STRUCTURAL CONNECTORS		
MANUFACTURER	PART NO.	PRODUCT APPROVAL #
SIMPSON	ABU44	FL10860.2
MITEK	PAU44	FL17239.12
SIMPSON	LUS SERIES	FL10531.16
MITEK	JUS SERIES	FL17232.14
SIMPSON	HRC22	FL10447.6
MITEK	RT15	FL17236.11
SIMPSON	H1	FL10456.7
SIMPSON	H10A	FL10456.7
SIMPSON	H2.5A	FL10456.7
SIMPSON	H8	FL10446.16
MITEK	RT16-2	FL17236.12
MITEK	RT16M	FL10739.1
MITEK	LTW12	FL17244.16
SIMPSON	HCP2	FL10447.4
MITEK	HHCP-2	FL17236.8
MITEK	HJC26	FL17236.10
SIMPSON	RR	FL10667.26
SIMPSON	LSTA21	FL13872.5
SIMPSON	SPH4	FL10456.31

GENERAL MATERIALS			
PRODUCT	MANUFACTURER	TYPE	PRODUCT APPROVAL #
ROOFING	TRI COUNTY METALS	UNTRA-RIB	FL4595.17
ROOFING	UNION CORRUGATING	MASTER RIB	FL9555.2
SIDING	HARBOPLANK	LAP SIDING	FL3192.2
ROOFING	TAMKO	5 TAB ASPHALT	FL18355.1
ROOFING	TAMKO	HVY. WT. 30	FL123828.1
DOORS	MASSONITE	WOODGRN STYL.	FL29571.1
ROOFING UNDERLAY	TAMKO	15# FELT	FL19358.1
ROOFING UNDERLAY	TAMKO	30# FELT	FL12328.1
WINDOWS	M.I.	3500 SERIES	FL17676-R17



DOCK PLAN  
SCALE: 1/2" = 1'-0"



DOCK ELEVATION  
SCALE: 1/2" = 1'-0"



ARCHITECTURAL SITE PLAN  
SCALE: N.T.S.

**GENERAL NOTES:**

- ALL POSTS SHALL BE PRESSURE-TREATED:  
SALT-WATER = 2.50  
FRESH WATER = 0.60
- ALL FRAMING LUMBER SHALL BE #2 S.Y.P. (UNLESS OTHERWISE SPECIFIED)



# STRUCTURAL NOTES

WIND RESISTANCE OF THE REFERENCED BUILDING HAS BEEN DESIGNED USING A WIND SPEED OF 141MPH AS REQUIRED BY FLORIDA BUILDING CODE 2023 (8TH EDITION).

**BASIC WIND SPEED**      **ULTIMATE WIND SPEED OF 141 MPH (V<sub>U</sub>)**  
**NOMINAL DESIGN WIND SPEED OF 109MPH (V<sub>sd</sub>)**

**RISK CATEGORY**      **II**  
**WIND EXPOSURE**      **G**  
**ASSUMED SOIL BEARING CAPACITY**      **2,000PSF**

(IF SITE CONDITIONS DO NOT SUPPORT THIS ASSUMPTION, CONTACT THE ENGINEER. THE DESIGN ALSO ASSUMES SOILS WHICH ARE NON-EXPANSIVE, AND ARE COMPACT. SOILS SUCH AS LOOSE SANDS OR EXPANSIVE CLAYS MAY REQUIRE REMEDIAL TREATMENT, AND A GEOTECHNICAL ENGINEER SHOULD BE CONSULTED FOR RECOMMENDATIONS.)

### GENERAL REQUIREMENTS:

- STRUCTURAL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2023 (8TH EDITION).
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER PROJECT DRAWINGS BY OTHER DISCIPLINES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODES LISTED BELOW.

### CONTRACTOR REQUIREMENTS:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS RELATING TO EXISTING CONDITION BY MAKING FIELD SURVEYS AND MEASUREMENTS PRIOR TO COMMENCING FABRICATION OF CONSTRUCTION. VERIFICATION SHALL BE MADE WITH NOT ONLY THE EXISTING CONDITIONS BUT ALSO WITH THE ARCHITECTURAL AND STRUCTURAL PLANS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED WILL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES OR OTHER PROPERTY. THIS REQUIREMENT IS PARTICULARLY IMPORTANT DURING FOUNDATION INSTALLATION.
- THE GENERAL CONTRACTOR IS ADVISED TO CONSIDER PERFORMING PHOTOGRAPHIC SURVEYS AND OTHER DOCUMENTATION OF THE CONDITION OF ADJACENT BUILDINGS AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SHORING OF ALL STRUCTURAL MEMBERS AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND STRUCTURAL ENGINEER OF ANY CONDITION WHICH, IN HIS OPINION, MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS IN THE STRUCTURE.
- WRITTEN REQUESTS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL OF ANY PROPOSED CHANGE TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE ALTERED UNLESS APPROVED IN WRITING BY STRUCTURAL ENGINEER. THE RESULTS OF ANY UNAUTHORIZED DEVIATION FROM THE CONTRACT DOCUMENTS, AND CORRECTION THEREOF, BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.

### CONSTRUCTION RESPONSIBILITY:

THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE, AND ARE NOT INTENDED TO INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND FOR JOB SAFETY.

THE ENGINEER DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

### BCS (BC Similar)

**Installation:**

- BCS: Install dome nails on beam, drive nails at an angle through the beam into the post below.
- BC: Do not install bolts into pilot holes.

Model No.	Dimensions (in.)						Fasteners			
	W1	W2	L1	L2	H1	H2	Beam Flange	Post Flange	Beam Flange	Post Flange
BC4Z	3 9/16	3 9/16	2 7/8	2 7/8	3	3	6-16d	6-16d	6-SD #10x1 1/2	6-SD #10x1 1/2
BC5Z	5 1/2	5 1/2	4 3/8	4 3/8	3 3/8	3 3/8	12-16d	12-16d	-	-
BCS2-24Z	3 1/8	3 9/16	2 7/8	2 7/8	2 15/16	2 15/16	8-10d	6-10d	8-SD #9x2 1/2	6-SD #9x2 1/2
BCS2-36Z	4 5/8	5 9/16	4 3/8	2 7/8	3 9/16	2 15/16	12-16d	6-16d	-	-

1.  indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.  
2. Refer to current Wood Construction Connectors catalog for additional information.

### AC/LPC/LCE POST CAPS

**Installation:**

- Install in pairs.
- For LCE4Z installations on exterior corner conditions, refer to www.strongtie.com for more information.

Model No.	Dimensions (in.)			Fasteners			
	W	L	H	Nails	Beam	Post	SD Screws
AC4Z	3 9/16	6 1/2	14-16d	14-16d	14-16d	14-SD #10x1 1/2	14-SD #10x1 1/2
AC6Z	5 1/2	8 1/2	14-16d	14-16d	14-SD #10x1 1/2	14-SD #10x1 1/2	14-SD #10x1 1/2
LPC4Z	3 9/16	3 1/2	8-10d	8-10d	8-SD #9x1 1/2	8-SD #9x1 1/2	-
LPC6Z	5 9/16	5 1/2	8-10d	8-10d	8-SD #9x1 1/2	8-SD #9x1 1/2	-
LCE4Z	-	5 3/8	14-16d	10-16d	14-SD #10x1 1/2	10-SD #10x1 1/2	-

1.  indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.  
2. Refer to current Wood Construction Connectors catalog for additional information.

### PC/EPC POST CAPS

**Installation:**

- For end condition, specify EPC.
- Use all specified fasteners.
- Do not install bolts into pilot holes.

Model No.	W (in.)	Fasteners <sup>1</sup>		Post Size
		Beam	Post	
PC4Z	3 9/16	(10) 10d	(8) 10d	(2) 2x4 4x4 4x6 4x8 4x8 6x8
PC6Z	5 1/2	(10) 10d	(8) 10d	4x4 4x6 4x8 6x8 6x8
PC8Z	7 1/2	(10) 10d	(8) 10d	4x4 4x6 4x8 6x8 6x8

1. Post and beam may consist of multiple members provided they are connected independently of the post cap fasteners.  
2. 10d x 2 1/2" (0.148" dia. x 2 1/2" long) nails may be used with no load reduction for uplift and 0.85 of the table loads for lateral.  
3. Strong-Tie® 50k x 1 1/2" Connector screws may be substituted for table fasteners with no load reduction.  
4. Models available for rough size lumber. Specify RZ suffix. Ex: PC4RZ.

### LSC STAIR STRINGER CONNECTOR

**Installation:**

- Before fastening, position the stair stringer with the LSCZ on the carrying member to verify where the bend should be located.
- Tabs on the LSCZ must be positioned to the inside of the stairs.
- The fastener that is installed into the bottom edge of the stringer must go into the second-to-last hole.
- A minimum distance of 1/2" measured from the lowest rim joist fastener to the edge of rim joist is required.

Model No.	Nails			SD Screws		
	Rim Joist	Stringer Wide Face	Stringer Narrow Face	Rim Joist	Stringer Wide Face	Stringer Narrow Face
LSCZ	8-10dX1 1/2	8-10dX1 1/2	1-10dX1 1/2	8-SD #9x1 1/2	8-SD #9x1 1/2	1-SD #9x1 1/2

1. Indicates connector is available in stainless steel. Replace Z in model number with SS when ordering. Stainless steel models must be fastened with nails.  
2. Refer to current Wood Construction Connectors catalog for additional information.

### TA TREAD ANGLE

**Installation:**

- Use all specified fasteners.
- For double 2x4 treads, install TA10Z inverted with 4 screws installed into the treads.

Model No.	Fasteners		
	Stringer	Tread	
TA9Z	3-SDS 1/2"x1 1/2"	2-SDS 1/2"x1 1/2"	
TA10Z	3-SDS 1/2"x1 1/2"	4-SDS 1/2"x1 1/2"	
TA10Z	4-SDS 1/2"x1 1/2"	3-SDS 1/2"x1 1/2"	

1.  indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.  
2. Refer to current Wood Construction Connectors catalog for additional information.

### HURRICANE TIES

**Installation:**

### HURRICANE TIES

**Installation:**

### ASTM TESTING FOR 5/4X6"

PROPERTY	REQUIREMENT	RESULT
WEIGHT	ASTM D6111	1.9LBS/FT
MODULES OF ELASTICITY	ASTM D6109	633,665 PSI
FLEXURAL STRENGTH	ASTM D6109	7,038 PSI
TEMPERATURE/MOISTURE EFFECT	ICC-ES AC174	MEETS CODE REQ. EFFECT
CREEP RELAXATION	ICC-ES AC174	MEETS CODE REQ.
UV RESISTANCE	ICC-ES AC174	MEETS CODE REQ.
COMPRESSIVE MODULES	ASTM D6108	84,700 PSI
SPECIFIC GRAVITY	ASTM D2395	0.7550
SCREW WITHDRAWAL	ASTM D1761	641 LBS
COF SLIP RESISTANCE	ASTM F1679	0.67 DRY / 0.69 WET
COF OF LINER THERMAL EXPANSION	ASTM D696	0.8 X 10 (S) (IN/IN/F)

### ASTM TESTING FOR 2X8" & 2X10"

PROPERTY	REQUIREMENT	RESULT
WEIGHT	ASTM D6111	0.027
MODULES OF ELASTICITY	ASTM D6109	633,665 PSI
FLEXURAL STRENGTH	ASTM D6109	7,038 PSI
TEMPERATURE/MOISTURE EFFECT	ICC-ES AC174	MEETS CODE REQ. EFFECT
CREEP RELAXATION	ICC-ES AC174	MEETS CODE REQ.
UV RESISTANCE	ICC-ES AC174	MEETS CODE REQ.
COMPRESSIVE MODULES	ASTM D6108	84,700 PSI
SPECIFIC GRAVITY	ASTM D2395	0.7550
SCREW WITHDRAWAL	ASTM D1761	641 LBS
COF OF LINER THERMAL EXPANSION	ASTM D696	0.8 X 10 (S) (IN/IN/F)

### LIVE LOAD CAPACITY

PROFILE	MAXIMUM LOAD	SPAN
3/4" x 6"	374 LBS./SQ FT	12" O.C.
3/4" x 6"	266 LBS./SQ FT	16" O.C.
3/4" x 6"	120 LBS./SQ FT	24" O.C.
3/4" x 8"	200 LBS./SQ FT	24" O.C.
2" x 6"	644 LBS./SQ FT	12" O.C.
2" x 6"	306 LBS./SQ FT	24" O.C.
2" x 8"	640 LBS./SQ FT	24" O.C.

### WEARDECK

SCALE: NONE

### WEARDECK

SCALE: NONE

### DECK TENSION TIE

**Installation:**

- When fastening a 3/4" board, use at a minimum, a #9 x 2 1/2" exterior rated composite type screw.
- When fastening a 2" board, use at a minimum, a #10 x 2 3/4" exterior rated composite type screw.
- Pre-drilling is not generally required, however in the extreme cold of winter, testing to determine best method of application is recommended.
- WearDeck can be installed with standard tools used for installing any wood deck or dock.
- A minimum of 2 fasteners should be placed from 1/2" to 1" from ends & edges of decking applications.
- Applications for other than standard decking use, may require special bolts or screws based on the specific application or structural needs.

### DECK TENSION TIE

**Installation:**

DT2Z installed as a Lateral Connector for a Deck Guardrail Post  
For more information on guardrail post connections, and installation instructions, see technical bulletin T-GRDL/PST (available at www.strongtie.com).

### DECK TENSION TIE

**Installation:**

DT2Z installed as a Lateral Connector for a Deck-to-House Lateral Load Connection  
For more information on this connection, and installation instructions, see technical bulletin T-DECKLLOAD (available at www.strongtie.com).

### FASTENERS AND ALLOWABLE LOADS

MODEL NUMBER	MINIMUM RAFTER SIZE	FASTENERS (RIDGE)	FASTENERS (RAFTER)	UPLIFT (160)	FLOOR LOAD (100)	ROOF (125)
RR	2"x6"	(4) 0.148X1 1/2	(4) 0.148X1 1/2	130	330	330

### RIDGE RAFTER CONNECTOR

SCALE: NONE

### HURRICANE TIE CONNECTOR

SCALE: NONE

### LUS Joist Hangers

**Installation:**

- LUS hangers install with double shear nailing.
- For installations into single 2x headers or ledgers, use the specified full length fasteners into the post and the following fasteners into the header for reduced loads in accordance with www.strongtie.com.
- 10d x 1 1/2" nails for installations with Nails
- SD #9x1 1/2" for LUS26Z and LUS20Z installations with SD Screws
- SD #10x1 1/2" for LUS26-ZZ and LUS210-ZZ installations with SD Screws

Model No.	Dimensions (in.)			Fasteners			
	W	H	B	Header	Joist	Header	Joist
LUS26Z	1 9/16	4 3/4	1 3/4	4-10d	4-10d	-	-
LUS28Z	1 9/16	6 5/8	1 3/4	6-10d	4-10d	6-SD #9x2 1/2	4-SD #9x2 1/2
LUS210Z	1 9/16	7 13/16	1 3/4	8-10d	4-10d	8-SD #9x2 1/2	4-SD #9x2 1/2
LUS26-ZZ	3 1/8	4 7/8	2	4-16d	4-16d	4-SD #10x2 1/2	4-SD #10x2 1/2
LUS210-ZZ	3 1/8	9	2	8-16d	6-16d	8-SD #10x2 1/2	6-SD #10x2 1/2

1.  indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.  
2. Refer to current Wood Construction Connectors catalog for additional information.

### LUC,HUC Joist Hangers

**Installation:**

- For HUC installations, models have triangle and round holes. To achieve maximum loads, fill both round and triangle holes (fastener quantities listed fill both holes).
- For installations into single 2x headers or ledgers, use the specified full length fasteners into the post and the following fasteners into the header for reduced loads in accordance with www.strongtie.com.
- 10d x 1 1/2" nails for installations with Nails
- SD #9x1 1/2" for LUC26Z and LUC210Z installations with SD Screws

Model No.	Dimensions (in.)			Fasteners			
	W	H	B	Header	Joist	Header	Joist
LUC26Z	1 9/16	4 3/4	1 3/4	6-10d	4-10d	6-SD #9x2 1/2	4-SD #9x2 1/2
LUC210Z	1 9/16	7 3/4	1 3/4	10-10d	6-10d	10-SD #9x2 1/2	6-SD #9x2 1/2
HUC26-ZZ	3 1/8	5 3/8	2 1/2	12-16d	6-10d	-	-
HUC28-ZZ	3 1/8	7	2 1/2	14-16d	6-10d	-	-
HUC210-ZZ	3 1/8	8 13/16	2 1/2	18-16d	10-10d	-	-

1.  indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.  
2. Refer to current Wood Construction Connectors catalog for additional information.

CONSULTANT

**Infinite Engineering**

240 SW 8th STREET, SUITE A  
OCALA, FLORIDA 34471  
(352) 241-1460  
WWW.INFINITEENGL.COM  
CERT. OF AUTH. # 33000

PROJECT TITLE

A DOCK DESIGN FOR  
**LAMB  
WHITE EGRET LN**  
**LAKELAND, FLORIDA 33811**

SHEET TITLE

## DOCK PLAN, ISOMETRICS NOTES AND DETAILS

CLIENT INFORMATION

**STRAWNIX WATERFRONT SOLUTIONS**  
2302 HAWTHORNE TRAIL  
LAKELAND, FLORIDA 33083  
P: (863) 398-8737  
EDUSTIN@STRAWNIX.COM

SUBCONSULTANTS

ENGINEER OF RECORD

**BARRY EDWARD GINN, P.E.**  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 54595

ISSUE DATE

**December 4, 2024**

PROJECT NUMBER NUMBER

**DETAILS AND FASTENER REQUIREMENTS**

MODEL NUMBER	GA.	W	L	H	FASTENER QTY	FASTENER SIZE	TENSION/UPLIFT (100/160)	F1
BCS2-2/4	18	3 3/8	3 3/8	2 1/8	12	0.148"x3"	895	890

**POST CAP CONNECTOR**  
SCALE: NONE

Model Number	Member Size	RIDGE	Fasteners (In.)		ALLOWABLE LOADS	
			CARRYING MEMBER	Each Hip	UPLIFT (160)	Roof (125)
HRC22	1 3/8	2X	(16) 0.148X1 1/2	(2) 0.148 x 1 1/2	370	1,185

**HRC HIP RIDGE CONNECTOR**  
SCALE: NONE

**FASTENERS AND ALLOWABLE LOADS**

MODEL NUMBER	MINIMUM RAFTER SIZE	FASTENERS (RIDGE)	FASTENERS (RAFTER)	UPLIFT (160)	FLOOR LOAD (100)	ROOF (125)
RR	2"x6"	(4) 0.148X1 1/2	(4) 0.148X1 1/2	130	330	330

**RIDGE RAFTER CONNECTOR**  
SCALE: NONE

**DETAILS AND FASTENERS REQUIREMENTS**

MODEL NUMBER	GA.	WIDTH	UPLIFT	FASTENER QTY	FASTENER SIZE
HS24	18	3 3/8"	645	16	0.148"x1 1/2" OR 0.131"x1 1/2"

**HURRICANE TIE CONNECTOR**  
SCALE: NONE

SHEET DESIGNATION

# \$200

SHEET


**3 OF 3**







# SECTION V

**From:** Keren FigueroaPagan Keren.figueroa15@outlook.com   
**Subject:** Riverstone Events 2025  
**Date:** November 8, 2024 at 11:24 AM  
**To:** Brittany Brookes bbrookes@gmscfl.com  
**Cc:** Tricia Adams tadams@gmscfl.com, Nick Pagan nickpagan@kw.com

---

Good morning!

I am doing some business planning for 2025. I just wanted to request/set aside a few dates for next year. Thank you all for your continued support!

Easter Egg Hunt (Field/parking lot)  
April 12<sup>th</sup> 2025

Food Truck Rally (Field/parking lot)  
May 24<sup>th</sup> 2025

Pumpkins & Portraits (Club House)  
October 25<sup>th</sup> 2025

Christmas Party (Club House)  
December 6<sup>th</sup> 2025

I may add a couple other dates with plenty of notice. Thank you!



**Keren Figueroa-Pagan**  
*Real Estate Agent*

773-510-9337  
Keren.figueroa15@outlook.com  
9161 Narcoossee RD. #107,  
Orlando, FL 32827

PAGONIUS LEGACY | KW ADVANTAGE III  
KELLERWILLIAMS REALTY

# SECTION VII



# SECTION C

# Towne Park CDD

## Field Management Report



January 7<sup>th</sup>, 2025

Allen Bailey – Field Services Manager

GMS

# Completed

## Amenity Restroom Closer



- ✚ The closer to the women's restroom has been replaced.
- ✚ The door is properly closing again.

## Temporary Shade Repair



- ✚ The temporary shade repair is complete.
- ✚ Residents can use amenity two's playground safely.

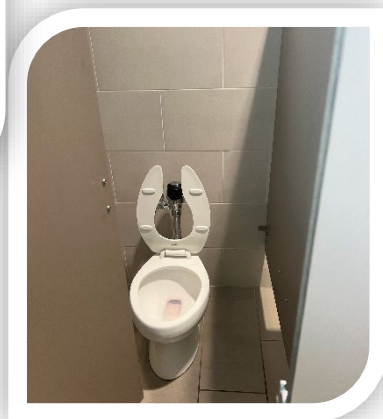
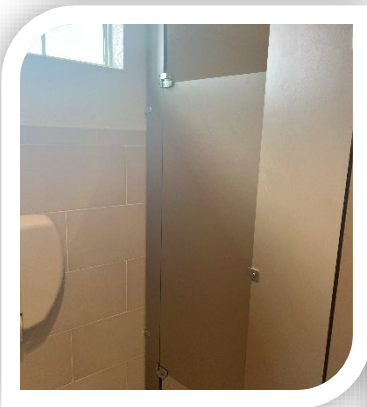
# Completed

## Playground Table



- ✚ Amenity two's table has been repaired.
- ✚ It has been setback up within the playground area.

## Amenity Two Restrooms



- ✚ A toilet in the women's restroom needs a sensor replaced.
- ✚ The sensor has been replaced and the toilet is working properly.

# Complete

## Amenity Two Restroom Light Switch



- ✚ The light switch was tampered with.
- ✚ It has been repaired and is working properly.



# Review

## Trees



- ✚ The trees that were knocked down during the hurricane are doing well.
- ✚ We will continue to monitor them as we move into Winter.

# Conclusion

For any questions or comments regarding the above information, please contact me by phone at 407-460-4424, or by email at [abailey@gmscfl.com](mailto:abailey@gmscfl.com). Thank you.

Respectfully,  
Allen Bailey

# SECTION D



# SECTION 1

# Towne Park Community Development District

## Summary of Check Register

November 21, 2024 to December 20, 2024

<b>Fund</b>	<b>Date</b>	<b>Check No.'s</b>	<b>Amount</b>
General Fund	12/6/24	945-957	\$ 22,537.07
	12/12/24	958-959	\$ 8,074.28
	12/16/24	960	\$ 2,507.12
<b>Total Amount</b>			<b>\$ 33,118.47</b>

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #	
12/06/24	00077	10/19/24 81081	202410 330-53800-47000	CLEAN UP 10/18 & 10/19	*	300.00		
		11/05/24 81088	202411 330-53800-47000	CLEAN UP EVENT 11/5	*	150.00		
		11/11/24 12552	202411 330-53800-47000	CLEANING SUPPLIES	*	71.25		
		11/20/24 81118	202412 330-53800-47000	CLEANING DEC 24	*	1,230.00		
		11/24/24 81171	202411 330-53800-47000	CLEAN UP EVENT 11/24	*	150.00		
							E&A CLEANING CO	1,901.25 000945
12/06/24	00040	10/31/24 187	202410 330-53800-47500	GENERAL MAINT OCT 24	*	1,993.95		
		10/31/24 188	202410 320-53800-47500	GENERAL MAINT OCT 24	*	2,400.00		
							GOVERNMENTAL MANAGEMENT SERVICES-	4,393.95 000946
12/06/24	00080	12/03/24 GJ120320	202412 310-51300-11000	BOS MEETING 12/3/24	*	200.00		
							GREGORY M. JONES	200.00 000947
12/06/24	00055	12/03/24 JT120320	202412 310-51300-11000	BOS MEETING 12/3/24	*	200.00		
							JENNIFER TIDWELL	200.00 000948
12/06/24	00068	11/23/24 10701	202410 310-51300-31500	GENERAL COUNSEL OCT 24	*	3,343.58		
							KILINSKI/VAN WYK, PLLC	3,343.58 000949
12/06/24	00082	11/07/24 15262	202411 320-53800-47300	IRRIGATION REPAIRS	*	227.13		
		11/13/24 15380	202411 320-53800-49000	FLUSH CUT OAK BACK	*	1,650.00		
							PRINCE & SONS INC.	1,877.13 000950
12/06/24	00076	12/01/24 RES 21-1	202411 310-51300-31100	ENGINEER SERVICES NOV 24	*	2,019.69		
							RAYL ENGINEERING & SURVEYING LLC	2,019.69 000951
12/06/24	00071	11/08/24 25510	202411 330-53800-47500	POOL REPAIRS	*	1,300.00		
		12/01/24 25645	202412 330-53800-48000	POOL MAINTENANCE DEC 24	*	3,625.00		
							RESORT POOL SERVICES DBA	4,925.00 000952

TWPK TOWNE PARK CDD CWRIGHT

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
12/06/24	00091	12/03/24	RR120320	202412	310-51300	11000		BOS MEETING 12/3/24 ROGER RUNYAN	*	200.00	200.00	000953
12/06/24	00087	11/30/24	11970153	202411	330-53800	34500		SECURITY NOV 24 SECURITAS SECURITY SERVICES	*	3,097.96	3,097.96	000954
12/06/24	00092	12/03/24	TZ120320	202412	310-51300	11000		BOS MEETING 12/3/24 THOMAS ZIMMERMAN	*	200.00	200.00	000955
12/06/24	00064	12/06/24	12062024	202412	300-15500	10000		EQUIPMENT LEASE JAN 25 WHFS, LLC	*	278.51	278.51	000956
12/06/24	00088	12/03/24	ZS120320	202412	310-51300	11000		BOS MEETING 12/3/24 ZABRINA SIDES	*	200.00	200.00	000957
12/12/24	00095	8/14/24	36039	202408	330-53800	48200		PEST CONTROL AUG 24 ALL AMERICAN LAWN & TREE SPECIALIST	*	185.00	185.00	000958
12/12/24	00040	12/01/24	189	202412	310-51300	34000		MANAGEMENT FEES DEC 24	*	4,035.75		
		12/01/24	189	202412	310-51300	35200		WEBSITE ADMIN DEC 24	*	105.00		
		12/01/24	189	202412	310-51300	35100		INFORMATION TECH DEC 24	*	157.50		
		12/01/24	189	202412	310-51300	31300		DISSEMINATION SVC DEC 24	*	875.00		
		12/01/24	189	202412	330-57200	11000		AMENITY ACCESS DEC 24	*	787.50		
		12/01/24	189	202412	310-51300	51000		OFFICE SUPPLIES	*	.63		
		12/01/24	189	202412	310-51300	42000		POSTAGE	*	88.30		
		12/01/24	189	202412	310-51300	42500		COPIES	*	2.10		
		12/01/24	190	202412	320-53800	12000		FIELD MANAGEMENT DEC 24	*	1,837.50		
								GOVERNMENTAL MANAGEMENT SERVICES-			7,889.28	000959
12/16/24	00068	12/16/24	11029	202411	310-51300	31500		GENERAL COUNSEL NOV 24 KILINSKI/VAN WYK, PLLC	*	2,507.12	2,507.12	000960
TOTAL FOR BANK A										33,418.47		

TWPK TOWNE PARK CDD CWRIGHT

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #
TOTAL FOR REGISTER						33,418.47	

TWPK TOWNE PARK CDD CWRIGHT

# SECTION 2

***Towne Park***  
***Community Development District***

***Unaudited Financial Reporting***  
***November 30, 2024***



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**Towne Park**  
**Community Development District**  
**Combined Balance Sheet**  
**November 30, 2024**

	General Fund	Debt Service Fund	Capital Projects Fund	Capital Reserve Fund	Totals Governmental Funds
<b>Assets:</b>					
<b>Cash:</b>					
Operating Account	\$ 237,424	\$ -	\$ -	\$ -	\$ 237,424
Capital Reserve Account	\$ -	\$ -	\$ -	\$ 82,382	\$ 82,382
State Board Administration	\$ 151,642	\$ -	\$ -	\$ -	\$ 151,642
<b>Investments:</b>					
<u>Series 2016 - 2A</u>					
Reserve	\$ -	\$ 111,063	\$ -	\$ -	\$ 111,063
Revenue	\$ -	\$ 37,901	\$ -	\$ -	\$ 37,901
Prepayment	\$ -	\$ 8,268	\$ -	\$ -	\$ 8,268
<u>Series 2018 - 2B</u>					
Reserve	\$ -	\$ 60,400	\$ -	\$ -	\$ 60,400
Revenue	\$ -	\$ 62,008	\$ -	\$ -	\$ 62,008
Prepayment	\$ -	\$ 148	\$ -	\$ -	\$ 148
<u>Series 2018 - 3A</u>					
Reserve	\$ -	\$ 256,541	\$ -	\$ -	\$ 256,541
Revenue	\$ -	\$ 129,199	\$ -	\$ -	\$ 129,199
Prepayment	\$ -	\$ 148	\$ -	\$ -	\$ 148
<u>Series 2019 - 3B</u>					
Reserve	\$ -	\$ 167,922	\$ -	\$ -	\$ 167,922
Revenue	\$ -	\$ 76,480	\$ -	\$ -	\$ 76,480
<u>Series 2019 - 3C</u>					
Reserve	\$ -	\$ 112,688	\$ -	\$ -	\$ 112,688
Revenue	\$ -	\$ 29,920	\$ -	\$ -	\$ 29,920
Prepayment	\$ -	\$ 138	\$ -	\$ -	\$ 138
<u>Series 2020 - 3D</u>					
Reserve	\$ -	\$ 200,003	\$ -	\$ -	\$ 200,003
Revenue	\$ -	\$ 31,004	\$ -	\$ -	\$ 31,004
Construction	\$ -	\$ -	\$ 4,019	\$ -	\$ 4,019
Deposits	\$ 4,500	\$ -	\$ -	\$ -	\$ 4,500
Due from General Fund	\$ -	\$ 72,191	\$ -	\$ -	\$ 72,191
Prepaid Expenses	\$ 836	\$ -	\$ -	\$ -	\$ 836
<b>Total Assets</b>	<b>\$ 394,402</b>	<b>\$ 1,356,020</b>	<b>\$ 4,019</b>	<b>\$ 82,382</b>	<b>\$ 1,836,823</b>
<b>Liabilities:</b>					
Accounts Payable	\$ 19,824	\$ -	\$ -	\$ -	\$ 19,824
Due to Debt Service	\$ 72,191	\$ -	\$ -	\$ -	\$ 72,191
<b>Total Liabilities</b>	<b>\$ 92,015</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 92,015</b>
<b>Fund Balance:</b>					
Nonspendable:					
Deposits	\$ 4,500	\$ -	\$ -	\$ -	\$ 4,500
Prepaid Items	\$ 836	\$ -	\$ -	\$ -	\$ 836
Restricted for:					
Debt Service - Series 2016 - 2A	\$ -	\$ 161,898	\$ -	\$ -	\$ 161,898
Debt Service - Series 2018 - 2B	\$ -	\$ 127,999	\$ -	\$ -	\$ 127,999
Debt Service - Series 2018 - 3A	\$ -	\$ 407,818	\$ -	\$ -	\$ 407,818
Debt Service - Series 2019 - 3B	\$ -	\$ 258,429	\$ -	\$ -	\$ 258,429
Debt Service - Series 2019 - 3C	\$ -	\$ 152,165	\$ -	\$ -	\$ 152,165
Debt Service - Series 2020 - 3D	\$ -	\$ 247,711	\$ -	\$ -	\$ 247,711
Capital Projects	\$ -	\$ -	\$ 4,019	\$ -	\$ 4,019
Assigned for:					
Capital Reserves	\$ -	\$ -	\$ -	\$ 82,382	\$ 82,382
Unassigned	\$ 297,051	\$ -	\$ -	\$ -	\$ 297,051
<b>Total Fund Balances</b>	<b>\$ 302,387</b>	<b>\$ 1,356,020</b>	<b>\$ 4,019</b>	<b>\$ 82,382</b>	<b>\$ 1,744,808</b>
<b>Total Liabilities &amp; Fund Balance</b>	<b>\$ 394,402</b>	<b>\$ 1,356,020</b>	<b>\$ 4,019</b>	<b>\$ 82,382</b>	<b>\$ 1,836,823</b>

# Towne Park

## Community Development District

### General Fund

#### Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending November 30, 2024

	Adopted	Prorated Budget	Actual	
	Budget	Thru 11/30/24	Thru 11/30/24	Variance
<b>Revenues:</b>				
Assessments - Tax Roll	\$ 1,024,144	\$ 40,518	\$ 40,518	\$ -
Other Income	\$ 8,000	\$ 2,028	\$ 2,028	\$ -
<b>Total Revenues</b>	<b>\$ 1,032,144</b>	<b>\$ 42,546</b>	<b>\$ 42,546</b>	<b>\$ -</b>
<b>Expenditures:</b>				
<b><i>General &amp; Administrative:</i></b>				
Supervisor Fees	\$ 12,000	\$ 2,000	\$ 1,000	\$ 1,000
Engineering Fees	\$ 15,000	\$ 2,500	\$ 2,395	\$ 105
Attorney	\$ 40,000	\$ 6,667	\$ 5,851	\$ 816
Annual Audit	\$ 4,100	\$ -	\$ -	\$ -
Assessment Roll Services	\$ 10,000	\$ 10,000	\$ 10,000	\$ -
Reamortization Schedules	\$ 625	\$ -	\$ -	\$ -
Dissemination	\$ 10,500	\$ 1,750	\$ 1,750	\$ -
Trustee Fees	\$ 23,867	\$ 14,533	\$ 14,533	\$ -
Management Fees	\$ 48,429	\$ 8,072	\$ 8,072	\$ -
Information Technology	\$ 1,890	\$ 315	\$ 315	\$ -
Website Maintenance	\$ 1,260	\$ 210	\$ 210	\$ -
Postage & Delivery	\$ 1,300	\$ 217	\$ 64	\$ 153
Insurance	\$ 7,558	\$ 7,558	\$ 7,032	\$ 526
Copies	\$ 250	\$ 42	\$ 1	\$ 40
Legal Advertising	\$ 3,500	\$ 583	\$ -	\$ 583
Other Current Charges	\$ 4,000	\$ 667	\$ 86	\$ 580
Office Supplies	\$ 200	\$ 33	\$ 2	\$ 32
Dues, Licenses & Subscriptions	\$ 175	\$ 175	\$ 175	\$ -
<b>Total General &amp; Administrative</b>	<b>\$ 184,653</b>	<b>\$ 55,320</b>	<b>\$ 51,485</b>	<b>\$ 3,835</b>

**Towne Park**  
**Community Development District**  
**General Fund**

**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending November 30, 2024**

	Adopted Budget	Prorated Budget Thru 11/30/24	Actual Thru 11/30/24	Variance
<b><i>Operations &amp; Maintenance</i></b>				
<b>Field Expenditures</b>				
Property Insurance	\$ 34,628	\$ 34,628	\$ 30,421	\$ 4,207
Field Management	\$ 22,050	\$ 3,675	\$ 3,675	\$ -
Landscape Maintenance	\$ 263,665	\$ 43,944	\$ 38,107	\$ 5,838
Landscape Enhancements/Replacement	\$ 55,000	\$ 9,167	\$ -	\$ 9,167
Pond Maintenance	\$ 48,000	\$ 8,000	\$ 5,500	\$ 2,500
Electric	\$ 5,400	\$ 900	\$ 214	\$ 686
Water & Sewer	\$ 1,100	\$ 183	\$ 118	\$ 65
Irrigation Repairs	\$ 12,500	\$ 2,083	\$ 464	\$ 1,620
General Repairs & Maintenance	\$ 20,000	\$ 3,333	\$ 2,400	\$ 933
Contingency	\$ 17,500	\$ 17,500	\$ 20,234	\$ (2,734)
<b>Subtotal Field Expenditures</b>	<b>\$ 479,842</b>	<b>\$ 123,413</b>	<b>\$ 101,133</b>	<b>\$ 22,281</b>
<b>Amenity Expenditures</b>				
Electric	\$ 26,400	\$ 4,400	\$ 2,780	\$ 1,620
Water	\$ 8,400	\$ 1,400	\$ 1,227	\$ 173
Internet & Phone	\$ 3,200	\$ 533	\$ 420	\$ 113
Playground & Equipment Lease	\$ 26,935	\$ 4,489	\$ 3,851	\$ 638
Pool Service Contract	\$ 43,800	\$ 7,300	\$ 7,500	\$ (200)
Pool Furniture Repair & Replacement	\$ 6,000	\$ 1,000	\$ -	\$ 1,000
Janitorial Services	\$ 22,500	\$ 3,750	\$ 3,281	\$ 469
Security Services	\$ 50,500	\$ 8,417	\$ 7,218	\$ 1,199
Pest Control	\$ 3,400	\$ 567	\$ -	\$ 567
Amenity Access Management	\$ 9,450	\$ 1,575	\$ 1,575	\$ -
Amenity Repair & Maintenance	\$ 25,000	\$ 6,392	\$ 6,392	\$ -
Contingency	\$ 17,500	\$ 10,000	\$ 10,000	\$ -
<b>Subtotal Amenity Expenditures</b>	<b>\$ 243,084</b>	<b>\$ 49,823</b>	<b>\$ 44,244</b>	<b>\$ 5,579</b>
<b>Total Operations &amp; Maintenance</b>	<b>\$ 722,927</b>	<b>\$ 173,236</b>	<b>\$ 145,376</b>	<b>\$ 27,860</b>
<b>Total Expenditures</b>	<b>\$ 907,580</b>	<b>\$ 228,557</b>	<b>\$ 196,861</b>	<b>\$ 31,696</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ 124,564</b>		<b>\$ (154,315)</b>	
<b><i>Other Financing Sources/(Uses):</i></b>				
Transfer In/(Out) - Capital Reserve	\$ (124,564)	\$ -	\$ -	\$ -
<b>Total Other Financing Sources/(Uses)</b>	<b>\$ (124,564)</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>
<b>Net Change in Fund Balance</b>	<b>\$ -</b>		<b>\$ (154,315)</b>	
<b>Fund Balance - Beginning</b>	<b>\$ -</b>		<b>\$ 456,702</b>	
<b>Fund Balance - Ending</b>	<b>\$ -</b>		<b>\$ 302,387</b>	

# Towne Park

## Community Development District

### Debt Service Fund Series 2016 - 2A

#### Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending November 30, 2024

	Adopted	Prorated Budget	Actual	
	Budget	Thru 11/30/24	Thru 11/30/24	Variance
<b>Revenues:</b>				
Assessments - Tax Roll	\$ 111,715	\$ 4,420	\$ 4,420	\$ -
Assessments - Direct Bill	\$ -	\$ -	\$ -	\$ -
Assessments - Prepayment	\$ -	\$ -	\$ 7,850	\$ -
Interest	\$ 5,405	\$ 1,767	\$ 1,767	\$ -
<b>Total Revenues</b>	<b>\$ 117,119</b>	<b>\$ 6,187</b>	<b>\$ 14,036</b>	<b>\$ -</b>
<b>Expenditures:</b>				
Interest - 11/1	\$ 38,731	\$ -	\$ 38,731	\$ (38,731)
Principal - 11/1	\$ 30,000	\$ -	\$ 30,000	\$ (30,000)
Special Call - 11/1		\$ -	\$ -	\$ -
Interest - 5/1	\$ 37,981	\$ -	\$ -	\$ -
<b>Total Expenditures</b>	<b>\$ 106,713</b>	<b>\$ -</b>	<b>\$ 68,731</b>	<b>\$ (68,731)</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ 10,407</b>		<b>\$ (54,695)</b>	
<b>Fund Balance - Beginning</b>	<b>\$ 101,726</b>		<b>\$ 216,593</b>	
<b>Fund Balance - Ending</b>	<b>\$ 112,133</b>		<b>\$ 161,898</b>	

**Towne Park**  
**Community Development District**  
**Debt Service Fund Series 2018 - 2B**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending November 30, 2024**

	Adopted Budget	Prorated Budget Thru 11/30/24	Actual Thru 11/30/24	Variance
<b>Revenues:</b>				
Assessments - Tax Roll	\$ 130,304	\$ -	\$ 5,155	\$ 5,155
Interest	\$ 4,251	\$ -	\$ 1,273	\$ 1,273
<b>Total Revenues</b>	<b>\$ 134,554</b>	<b>\$ -</b>	<b>\$ 6,428</b>	<b>\$ 6,428</b>
<b>Expenditures:</b>				
Interest - 11/1	\$ 43,897	\$ -	\$ 43,897	\$ (43,897)
Special Call - 11/1		\$ -	\$ -	\$ -
Principal - 5/1	\$ 43,897	\$ -	\$ -	\$ -
Interest - 5/1	\$ 30,000	\$ -	\$ -	\$ -
<b>Total Expenditures</b>	<b>\$ 117,794</b>	<b>\$ -</b>	<b>\$ 43,897</b>	<b>\$ (43,897)</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ 16,761</b>		<b>\$ (37,468)</b>	
<b>Fund Balance - Beginning</b>	<b>\$ 93,530</b>		<b>\$ 165,467</b>	
<b>Fund Balance - Ending</b>	<b>\$ 110,291</b>		<b>\$ 127,999</b>	

# Towne Park

## Community Development District

### Debt Service Fund Series 2018 - 3A

#### Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending November 30, 2024

	Adopted	Prorated Budget	Actual	
	Budget	Thru 11/30/24	Thru 11/30/24	Variance
<b>Revenues:</b>				
Assessments - Tax Roll	\$ 525,011	\$ -	\$ 20,771	\$ 20,771
Interest	\$ 15,356	\$ -	\$ 4,394	\$ 4,394
<b>Total Revenues</b>	<b>\$ 540,367</b>	<b>\$ -</b>	<b>\$ 25,165</b>	<b>\$ 25,165</b>
<b>Expenditures:</b>				
Interest - 11/1	\$ 188,575	\$ -	\$ 188,575	\$ (188,575)
<b>Total Expenditures</b>	<b>\$ 512,150</b>	<b>\$ -</b>	<b>\$ 188,575</b>	<b>\$ (188,575)</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ 28,217</b>		<b>\$ (163,410)</b>	
<b>Fund Balance - Beginning</b>	<b>\$ 282,967</b>		<b>\$ 571,228</b>	
<b>Fund Balance - Ending</b>	<b>\$ 311,184</b>		<b>\$ 407,818</b>	

# Towne Park

## Community Development District

### Debt Service Fund Series 2019 - 3B

#### Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending November 30, 2024

	Adopted	Prorated Budget	Actual	
	Budget	Thru 11/30/24	Thru 11/30/24	Variance
<b>Revenues:</b>				
Assessments - Tax Roll	\$ 335,844	\$ -	\$ 13,287	\$ 13,287
Interest	\$ 9,909	\$ -	\$ 2,738	\$ 2,738
<b>Total Revenues</b>	<b>\$ 345,753</b>	<b>\$ -</b>	<b>\$ 16,025</b>	<b>\$ 16,025</b>
<b>Expenditures:</b>				
Interest - 11/1	\$ 113,572	\$ -	\$ 113,572	\$ (113,572)
<b>Total Expenditures</b>	<b>\$ 337,144</b>	<b>\$ -</b>	<b>\$ 113,572</b>	<b>\$ (113,572)</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ 8,609</b>		<b>\$ (97,547)</b>	
<b>Fund Balance - Beginning</b>	<b>\$ 170,266</b>		<b>\$ 355,976</b>	
<b>Fund Balance - Ending</b>	<b>\$ 178,876</b>		<b>\$ 258,429</b>	

**Towne Park**  
**Community Development District**  
**Debt Service Fund Series 2019 - 3C**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending November 30, 2024**

	Adopted Budget	Prorated Budget Thru 11/30/24	Actual Thru 11/30/24	Variance
<b>Revenues:</b>				
Assessments - Tax Roll	\$ 225,524	\$ -	\$ 8,922	\$ 8,922
Interest	\$ 6,086	\$ 1,671	\$ 1,671	\$ -
<b>Total Revenues</b>	<b>\$ 231,610</b>	<b>\$ 1,671</b>	<b>\$ 10,594</b>	<b>\$ 8,922</b>
<b>Expenditures:</b>				
Interest - 11/1	\$ 75,784	\$ -	\$ 75,784	\$ (75,784)
<b>Total Expenditures</b>	<b>\$ 226,569</b>	<b>\$ -</b>	<b>\$ 75,784</b>	<b>\$ (75,784)</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ 5,042</b>		<b>\$ (65,191)</b>	
<b>Fund Balance - Beginning</b>	<b>\$ 100,689</b>		<b>\$ 217,356</b>	
<b>Fund Balance - Ending</b>	<b>\$ 105,731</b>		<b>\$ 152,165</b>	



**Towne Park**  
**Community Development District**  
**Debt Service Fund Series 2020 - 3D**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending November 30, 2024**

	Adopted Budget	Prorated Budget Thru 11/30/24	Actual Thru 11/30/24	Variance
<b>Revenues:</b>				
Assessments - Tax Roll	\$ 399,925	\$ -	\$ 15,822	\$ 15,822
Interest	\$ 10,422	\$ -	\$ 2,728	\$ 2,728
<b>Total Revenues</b>	<b>\$ 410,347</b>	<b>\$ -</b>	<b>\$ 18,550</b>	<b>\$ 18,550</b>
<b>Expenditures:</b>				
Interest - 11/1	\$ 124,528	\$ -	\$ 124,528	\$ (124,528)
<b>Total Expenditures</b>	<b>\$ 399,056</b>	<b>\$ -</b>	<b>\$ 124,528</b>	<b>\$ (124,528)</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ 11,291</b>		<b>\$ (105,978)</b>	
<b>Other Financing Sources/(Uses):</b>				
Transfer In/(Out)	\$ -	\$ -	\$ (1,540)	\$ (1,540)
<b>Total Other Financing Sources/(Uses)</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ (1,540)</b>	<b>\$ (1,540)</b>
<b>Net Change in Fund Balance</b>	<b>\$ 11,291</b>		<b>\$ (107,518)</b>	
<b>Fund Balance - Beginning</b>	<b>\$ 150,553</b>		<b>\$ 355,230</b>	
<b>Fund Balance - Ending</b>	<b>\$ 161,844</b>		<b>\$ 247,711</b>	

**Towne Park**  
**Community Development District**  
**Capital Projects Funds**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending November 30, 2024**

	Series	Series	Series	Series	Series	Series		
	2016 - 2A	2018 - 2B	2018 - 3A	2019 - 3B	2019 - 3C	2020 - 3D	Total	
<b>Revenues</b>								
Interest	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0	\$ 0
<b>Total Revenues</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0</b>	<b>\$ 0</b>
<b>Expenditures:</b>								
Capital Outlay	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-	\$ -
<b>Total Expenditures</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>-</b>	<b>\$ -</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0</b>	<b>\$ 0</b>
<b>Other Financing Sources/(Uses)</b>								
Transfer In/(Out)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	1,540	\$ 1,540
<b>Total Other Financing Sources (Uses)</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>1,540</b>	<b>\$ 1,540</b>
<b>Net Change in Fund Balance</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>1,541</b>	<b>\$ 1,541</b>
<b>Fund Balance - Beginning</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>2,478</b>	<b>\$ 2,478</b>
<b>Fund Balance - Ending</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>4,019</b>	<b>\$ 4,019</b>

**Towne Park**  
**Community Development District**  
**Capital Reserve Fund**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending November 30, 2024**

	Adopted Budget	Prorated Budget Thru 11/30/24	Actual Thru 11/30/24	Variance
<b>Revenues:</b>				
Interest	\$ -	\$ -	\$ -	\$ -
<b>Total Revenues</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>
<b>Expenditures:</b>				
Hydraulic Lift (Pool)	\$ 10,100	\$ -	\$ -	\$ -
Miscellaneous Expense	\$ -	\$ -	\$ 76	\$ (76)
<b>Total Expenditures</b>	<b>\$ 10,100</b>	<b>\$ -</b>	<b>\$ 76</b>	<b>\$ (76)</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ (10,100)</b>		<b>\$ (76)</b>	
<b>Other Financing Sources/(Uses):</b>				
Transfer In/(Out)	\$ 124,564	\$ -	\$ -	\$ -
<b>Total Other Financing Sources/(Uses)</b>	<b>\$ 124,564</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>
<b>Net Change in Fund Balance</b>	<b>\$ 114,464</b>		<b>\$ (76)</b>	
<b>Fund Balance - Beginning</b>	<b>\$ 58,610</b>		<b>\$ 82,458</b>	
<b>Fund Balance - Ending</b>	<b>\$ 173,074</b>		<b>\$ 82,382</b>	

**Towne Park**  
**Community Development District**  
**Month to Month**

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
<b>Revenues:</b>													
Assessments - Tax Roll	\$ -	\$ 40,518	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,518
Other Income	\$ 923	\$ 1,104	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,028
<b>Total Revenues</b>	<b>\$ 923</b>	<b>\$ 41,622</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 42,546</b>
<b>Expenditures:</b>													
<b>General &amp; Administrative:</b>													
Supervisor Fees	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000
Engineering Fees	\$ 375	\$ 2,020	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,395
Attorney	\$ 3,344	\$ 2,507	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,851
Annual Audit	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Assessment Roll Services	\$ 10,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 10,000
Reamortization Schedules	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Dissemination	\$ 875	\$ 875	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,750
Trustee Fees	\$ 14,533	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 14,533
Management Fees	\$ 4,036	\$ 4,036	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 8,072
Information Technology	\$ 158	\$ 158	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 315
Website Maintenance	\$ 105	\$ 105	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 210
Postage & Delivery	\$ 16	\$ 48	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 64
Insurance	\$ 7,032	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,032
Copies	\$ -	\$ 1	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1
Legal Advertising	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Other Current Charges	\$ 45	\$ 42	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 86
Office Supplies	\$ 1	\$ 1	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2
Dues, Licenses & Subscriptions	\$ 175	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 175
<b>Total General &amp; Administrative</b>	<b>\$ 40,693</b>	<b>\$ 10,792</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 51,485</b>

**Towne Park**  
**Community Development District**  
**Month to Month**

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
<b>Operations &amp; Maintenance</b>													
<b>Field Expenditures</b>													
Property Insurance	\$ 30,421	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 30,421
Field Management	\$ 1,838	\$ 1,838	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,675
Landscape Maintenance	\$ 19,053	\$ 19,053	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 38,107
Landscape Enhancements/Replacement	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Pond Maintenance	\$ 5,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,500
Electric	\$ 131	\$ 83	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 214
Water & Sewer	\$ 59	\$ 59	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 118
Irrigation Repairs	\$ 237	\$ 227	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 464
General Repairs & Maintenance	\$ 2,400	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,400
Contingency	\$ 17,425	\$ 2,809	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 20,234
<b>Subtotal Field Expenditures</b>	<b>\$ 77,063</b>	<b>\$ 24,069</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 101,133</b>
<b>Amenity Expenditures</b>													
Electric	\$ 2,082	\$ 697	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,780
Water	\$ 1,227	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,227
Internet & Phone	\$ 210	\$ 210	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 420
Playground & Equipment Lease	\$ 2,065	\$ 1,786	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,851
Pool Service Contract	\$ 3,875	\$ 3,625	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,500
Pool Furniture Repair & Replacement	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Janitorial Services	\$ 1,530	\$ 1,751	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,281
Security Services	\$ 2,307	\$ 4,911	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,218
Pest Control	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Amenity Access Management	\$ 788	\$ 788	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,575
Amenity Repair & Maintenance	\$ 5,092	\$ 1,300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,392
Contingency	\$ 10,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 10,000
<b>Subtotal Amenity Expenditures</b>	<b>\$ 29,175</b>	<b>\$ 15,068</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 44,244</b>
<b>Total Operations &amp; Maintenance</b>	<b>\$ 106,238</b>	<b>\$ 39,138</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 145,376</b>
<b>Total Expenditures</b>	<b>\$ 146,931</b>	<b>\$ 49,930</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 196,861</b>
<b>Excess (Deficiency) of Revenues over Expenditures</b>	<b>\$ (146,008)</b>	<b>\$ (8,307)</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ (154,315)</b>
<b>Other Financing Sources/Uses:</b>													
Transfer In/(Out)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Total Other Financing Sources/Uses</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>
<b>Net Change in Fund Balance</b>	<b>\$ (146,008)</b>	<b>\$ (8,307)</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ (154,315)</b>

**Towne Park**  
**COMMUNITY DEVELOPMENT DISTRICT**  
**Special Assessment Receipts**  
**Fiscal Year 2025**

Gross Assessments	\$ 1,101,231.50	\$ 120,123.23	\$ 140,111.40	\$ 564,528.08	\$ 361,122.13	\$ 242,499.36	\$ 430,027.32	\$ 2,959,643.02
Net Assessments	\$ 1,024,145.30	\$ 111,714.60	\$ 130,303.60	\$ 525,011.11	\$ 335,843.58	\$ 225,524.40	\$ 399,925.41	\$ 2,752,468.01

**ON ROLL ASSESSMENTS**

Date	Distribution	Gross Amount	Discount/Penalty	Commission	Interest	Net Receipts	O&M Portion	37.21%	4.06%	4.73%	19.07%	12.20%	8.19%	14.53%	100.00%
								2016 2-A Debt Service	Series 2018 2-B Service	Series 2018 3-A Service	Series 2019 3-B Service	Series 2019 3-C Service	Series 2020 3-D Service	Total	
11/13/24	10/21-10/21/24	\$2,787.93	-\$146.36	-\$52.83	\$0.00	\$2,588.74	\$963.22	\$105.07	\$122.55	\$493.78	\$315.87	\$212.11	\$376.14	\$2,588.74	
11/15/24	10/01-10/31/24	\$5,537.62	(\$221.51)	(\$106.32)	\$0.00	\$5,209.79	\$1,938.47	\$211.45	\$246.63	\$993.73	\$635.67	\$426.87	\$756.97	\$5,209.79	
11/19/24	11/01-11/07/24	\$54,552.96	(\$2,182.10)	(\$1,047.42)	\$0.00	\$51,323.44	\$19,096.56	\$2,083.07	\$2,429.68	\$9,789.53	\$6,262.25	\$4,205.20	\$7,457.14	\$51,323.43	
11/26/24	11/08-11/15/24	\$52,904.56	(\$2,116.04)	(\$1,015.77)	\$0.00	\$49,772.75	\$18,519.57	\$2,020.13	\$2,356.27	\$9,493.75	\$6,073.04	\$4,078.15	\$7,231.83	\$49,772.74	
<b>TOTAL</b>		<b>\$ 112,995.14</b>	<b>\$ (4,519.65)</b>	<b>\$ (2,169.51)</b>	<b>\$ -</b>	<b>\$ 108,894.72</b>	<b>\$ 40,517.82</b>	<b>\$ 4,419.72</b>	<b>\$ 5,155.13</b>	<b>\$ 20,770.79</b>	<b>\$ 13,286.83</b>	<b>\$ 8,922.33</b>	<b>\$ 15,822.08</b>	<b>\$ 108,894.70</b>	

4%	Net Percent Collected
<b>\$ 2,643,573.29</b>	<b>Balance Remaining to Collect</b>

# AUDIT COMMITTEE MEETING

**TOWNE PARK COMMUNITY  
DEVELOPMENT DISTRICT REQUEST FOR  
PROPOSALS**

**District Auditing Services for Fiscal Year 2025**  
Polk County, Florida

**INSTRUCTIONS TO PROPOSERS**

**SECTION 1. DUE DATE.** Sealed proposals must be received no later than **Friday, April 25, 2025** at the offices of:

Governmental Management Services – Central Florida, LLC, Attn: Tricia Adams/ Brittany Brookes, District Manager, 219 East Livingston Street, Orlando, Florida 32801. Proposals will be publicly opened at that time.

**SECTION 2. FAMILIARITY WITH THE LAW.** By submitting a proposal, the Proposer is assumed to be familiar with all federal, state, and local laws, ordinances, rules and regulations that in any manner affect the work. Ignorance on the part of the Proposer will in no way relieve it from responsibility to perform the work covered by the proposal in compliance with all such laws, ordinances and regulations.

**SECTION 3. QUALIFICATIONS OF PROPOSER.** The contract, if awarded, will only be awarded to a responsible Proposer who is qualified by experience and licensing to do the work specified herein. The Proposer shall submit with its proposal satisfactory evidence of experience in similar work and show that it is fully prepared to complete the work to the satisfaction of the District.

**SECTION 4. SUBMISSION OF ONLY ONE PROPOSAL.** Proposers shall be disqualified, and their proposals rejected if the District has reason to believe that collusion may exist among the Proposers, the Proposer has defaulted on any previous contract or is in arrears on any previous or existing contract, or for failure to demonstrate proper licensure and business organization.

**SECTION 5. SUBMISSION OF PROPOSAL.** Submit one (1) original hard copy and one (1) electronic copy of the Proposal Documents, and other requested attachments, at the time and place indicated herein, which shall be enclosed in an opaque sealed envelope, marked with the title, "**Auditing Services- Towne Park Community Development District**" on the face of it.

**SECTION 6. MODIFICATION AND WITHDRAWAL.** Proposals may be modified or withdrawn by an appropriate document duly executed and delivered to the place where proposals are to be submitted at any time prior to the time and date the proposals are due. No proposal may be withdrawn after opening for a period of ninety (90) days.

**SECTION 7. PROPOSAL DOCUMENTS.** The proposal documents shall consist of the notice announcing the request for proposals, these instructions, the Evaluation Criteria Sheet and a proposal with all required documentation pursuant to Section 12 of these instructions (the "Proposal Documents").



**SECTION 8. PROPOSAL.** In making its proposal, each Proposer represents that it has read and understands the Proposal Documents and that the proposal is made in accordance therewith.

**SECTION 9. BASIS OF AWARD/RIGHT TO REJECT.** The District reserves the right to reject any and all proposals, make modifications to the work, and waive any informalities or irregularities in proposals as it is deemed in the best interests of the District.

**SECTION 10. CONTRACT AWARD.** Within fourteen (14) days of receipt of the Notice of Award from the District, the Proposer shall enter into and execute a Contract (engagement letter) with the District.

**SECTION 11. LIMITATION OF LIABILITY.** Nothing herein shall be construed as or constitute a waiver of District's limited waiver of liability contained in Section 768.28, *Florida Statutes*, or any other statute or law.

**SECTION 12. MISCELLANEOUS.** All proposals shall include the following information in addition to any other requirements of the proposal documents.

- A. List position or title of all personnel to perform work on the District audit. Include résumés for each person listed; list years of experience in present position for each party listed and years of related experience.
- B. Describe proposed staffing levels, including résumés with applicable certifications.
- C. Three references from projects of similar size and scope.  
The Proposer should include information relating to the work it conducted for each reference as well as a name, address and phone number of a contact person.
- D. The cost of the provision of the services under the proposal for Fiscal Years 2025, 2026, 2027, 2028, and 2029. The District intends to enter into five (5) separate one-year agreements
- E. Provide a proposed schedule for performance of the audit.

**SECTION 13. PROTESTS.** In accordance with the District's Rules of Procedure, any protest regarding the Proposal Documents, must be filed in writing, at the offices of the District Manager, within seventy-two (72) calendar hours (excluding Saturday, Sunday, and state holidays) after the receipt of the Proposal Documents. The formal protest setting forth with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days (including Saturday, Sunday, and state holidays) after the initial notice of protest was filed. Failure to timely file a notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to the aforesaid Proposal Documents.

**SECTION 14. EVALUATION OF PROPOSALS.** The criteria to be used in the evaluation of proposals are presented in the Evaluation Criteria Sheet, contained within the Proposal Documents.



# SECTION B

**TOWNE PARK COMMUNITY DEVELOPMENT DISTRICT REQUEST FOR  
PROPOSALS FOR ANNUAL AUDIT SERVICES**

The Towne Park Community Development District hereby requests proposals for annual financial auditing services. The proposal must provide for the auditing of the District's financial records for the fiscal year ending September 30, 2025, with an option for four (4) additional annual renewals. The District is a local unit of special purpose government created under Chapter 190, *Florida Statutes*, for the purpose of financing, constructing and maintaining public infrastructure. The District is located in Polk County, Florida. The District currently has an operating budget of approximately \$635,542 . The final contract will require that, among other things, the audit for the fiscal year ending September 30, 2025, be completed no later than June 1, 2026.

Each auditing entity submitting a proposal must be authorized to do business in Florida; hold all applicable state and federal professional licenses in good standing, including but not limited to a license under Chapter 473, Florida Statutes, and be qualified to conduct audits in accordance with "Government Auditing Standards", as adopted by the Florida Board of Accountancy. Audits shall be conducted in accordance with Florida law and particularly section 218.39, Florida Statutes, and the rules of the Florida Auditor General.

Proposal package, which include evaluation criteria and instructions to proposers, are available from the District Manager at the address and telephone number listed below.

Proposers must provide one (1) original hard copy and one (1) electronic copy of their proposal to Governmental Management Services – Central Florida, LLC Attn: Tricia Adams, District Manager, 219 East Livingston Street, Orlando, Florida 32801, in an envelope marked on the outside **"Auditing Services – Towne Park Community Development District."**

Proposals must be received by **5:00 PM on Friday, April 25, 2025**, at the office address listed above. Proposals received after this time will not be eligible for consideration. Please direct all questions regarding this Notice to the District Manager who can be reached at (407) 841-5524.

District Manager  
Governmental Management Services – Central Florida, LLC